



# Accessory Structure or Use

## DEVELOPMENT PERMIT APPLICATION CHECKLIST

This checklist of application submission requirements shall be **completed** and **attached** to your Development Permit application. All of the required information is necessary for the review of the application and for a timely decision to be rendered. To expedite the evaluation, staff have been instructed to accept **only** complete applications, which require:

- All application submission requirements to be included in the application; and,
- All application submission requirements to be **clear, legible, and precise**, and to be prepared to professional drafting standards.

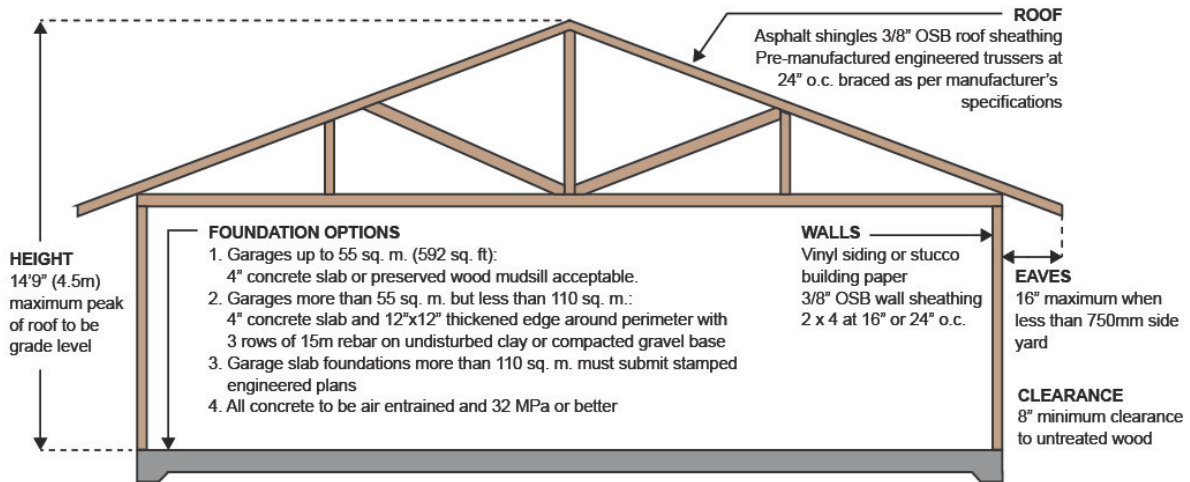
Should the above be considered inadequate by staff, the application shall be deemed **incomplete** and will not be reviewed until the requirements have been satisfied.

**All boxes shall be “CHECKED” and information indicated attached to the application.**

OFFICE ✓ x	APPLICATION SUBMISSION REQUIREMENTS
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>1. Site Plan:</b> and shall provide the following information:</p> <p><input type="checkbox"/> <b>Standard Information:</b> shown on all plans as per the “<i>How to Draw a Site Plan and Floor Plan</i>” document</p> <p><input type="checkbox"/> <b>Information on the Plan:</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Location of proposed structure and all existing buildings with dimensions to all property lines. Where a building is not set perpendicular to a property line, a minimum of two dimensions from one side to the adjacent property line is required</li> <li><input type="checkbox"/> Dimensions of the proposed Building Footprint and any existing structures: including existing and proposed boxouts, eaves, cantilevers, open or covered decks, verandas, landings and stairs. Indicate with a note or line weight variation the foundation wall versus boxouts or cantilever</li> <li><input type="checkbox"/> Indicate location and dimensions of hard surfaces, such as driveways and walkways</li> <li><input type="checkbox"/> Illustrate and provide dimensions of <b>all</b> registered easements and rights of ways on or affecting the property and reference registered plan number</li> <li><input type="checkbox"/> Illustrate how the detail drainage patterns will work with the development. Note: Subdivision Design Grades must be maintained along all property lines. If a retaining wall is being proposed or is required, provide grades at top and bottom of retaining walls and the length of the wall. Retaining walls 1.0m high or greater must meet the requirements of section 74.4 of the Land Use Bylaw</li> <li><input type="checkbox"/> If located within the Land Use Bylaw’s flood plain areas as shown in <a href="#">Appendix C-1</a> and <a href="#">Appendix C-2</a> in Land Use Bylaw 99/059, elevations of habitable floor level shall be identified</li> </ul> <p><b>NOTE:</b> all measurements are to be expressed in metric; all measurements are shown to outside face of building foundation wall at ground level, etc.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>2. Building Plans:</b> If not using the attached schematic, include plans which shall be properly drafted to scale and contain the following information:</p> <p><input type="checkbox"/> <b>Standard Information:</b> shown on all plans as per the “<i>How to Draw a Site Plan and Floor Plan</i>” document</p> <p><input type="checkbox"/> <b>Building Elevations</b> (including front and sides) indicating:</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Building height (finish grade to underside of eave and top of roof peak)</li> <li><input type="checkbox"/> Location of all proposed openings (doors, windows)</li> </ul>



<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>3. Copy of Current Certificate of Title(s):</b> no more than 30 days old at time of application: <ul style="list-style-type: none"><li><input type="checkbox"/> May be obtained from Alberta Registries Office</li><li><input type="checkbox"/> If Applicant is not the registered owner, a letter of authorization from the owner shall accompany the Certificate of Title. If the land is registered as a numbered company, the names of the principals of the numbered company shall be supplied</li><li><input type="checkbox"/> Please Note: additional documents including, but not limited to, copies of any Restrictive Covenants, Caveats, Utility Rights-of-Way, or Easements, may be required at the discretion of the Development Officer</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>4. Abandoned Well Site Information:</b> If the new structure is larger than 47 square metres (505.904 square feet) <b>AND</b> if the development is outside of the Urban Service Area: <ul style="list-style-type: none"><li><input type="checkbox"/> A map shall be provided from Alberta Energy Regulator's (AER) Abandoned Well Viewer to confirm:<ol style="list-style-type: none"><li>1. The location of abandoned wells on the land, and</li><li>2. Confirm that the land is not affected by abandoned wells</li></ol>The AER's Abandoned Well Viewer is available on <a href="http://portal.aer.ca/portal/site/srp">http://portal.aer.ca/portal/site/srp</a> or contact the AER Customer Contact Centre at 1-855-297-8311 or e-mail <a href="mailto:inquiries@ aer.ca">inquiries@aer.ca</a> or mail Information Services, AER, Suite 1000, 250 – 5 Street SW, Calgary AB, T2P 0R4 The new structure shall be setback a minimum of 5 metres from all abandoned well sites</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>5. Applicable Fees:</b> Fees outlined in the Land Use Bylaw 99/059. Development fees shall be made payable to the Regional Municipality of Wood Buffalo



### Accessory Building Specifications

Name: \_\_\_\_\_ DP # \_\_\_\_\_  
Civic Address: \_\_\_\_\_ Legal Address: \_\_\_\_\_

#### Roofing Material

- Asphalt Shingles
- Cedar, Pine Shakes/Shingles
- Metal Roofing
- Other (specify) \_\_\_\_\_

#### Roofing Sheathing

- Min. 3/8" OSB or plywood  
NOTE: OSB or plywood less than 1/2" requires H clips and bridge blocking
- 1/2" OSB or plywood
- Other (specify) \_\_\_\_\_

#### Roof Framing

- Pre-manufactured Engineered Truss
- Stick Build Rafters (provide details)

#### Exterior Finish

- Vinyl Siding
- Stucco
- Metal Siding
- Other (specify) \_\_\_\_\_

#### Foundation

- 4" Slab with Thickened Edges
- Strip footing & 4' frost wall

#### Interior Development

NOTE: A separate permit is required for each of these items (if applicable)

- Electrical
- Gas
- Plumbing
- Other (specify): \_\_\_\_\_

#### Wall Sheathing

- 3/8" OSB
- 3/8" plywood
- 1/2" plywood
- 1/2" OSB
- Other (specify): \_\_\_\_\_

#### Wall Framing

- 2 x 4 @ 16" o.c.
- 2 x 4 @ 24" o.c.
- 2 x 6 @ 16/24" o.c.
- Insulated walls and ceilings

#### Garage Door Beam

Length: \_\_\_\_\_

Depth: \_\_\_\_\_ # of Plys: \_\_\_\_\_

- Built Up
- Engineered

**Garage Door Size:** \_\_\_\_\_

#### Please Note:

Windows cannot be placed in a wall that is closer than 4 feet to a neighbour's property.

If the roof framing members transfer roof loading to the overhead garage door beam, please specify the size of the garage door beam.

Garage door beams without roof loading must be minimum size 2 – 2 x 12 c/w a minimum of 3" bearing

Maximum size of detached garage on a slab thickening foundation is 110 sq. m. with truss span not exceeding 85m. Oversized garage will require review and approval by a Safety Codes Officer.

Walls to be secured to slab with 2.5mm anchor bolts at 2.4m on center maximum.

Cannot build over an underground gas line.

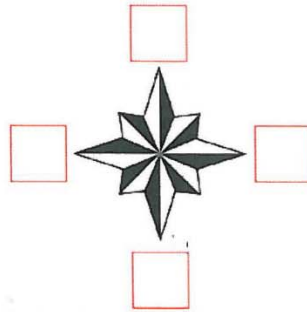
#### Direction of Trusses

- Trusses parallel to overhead door opening
- Trusses perpendicular to overhead door opening
- Other Foundation (details, engineering)

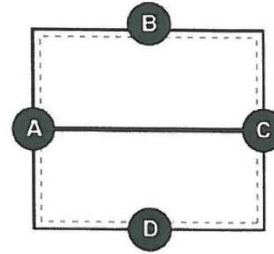


## Key Map

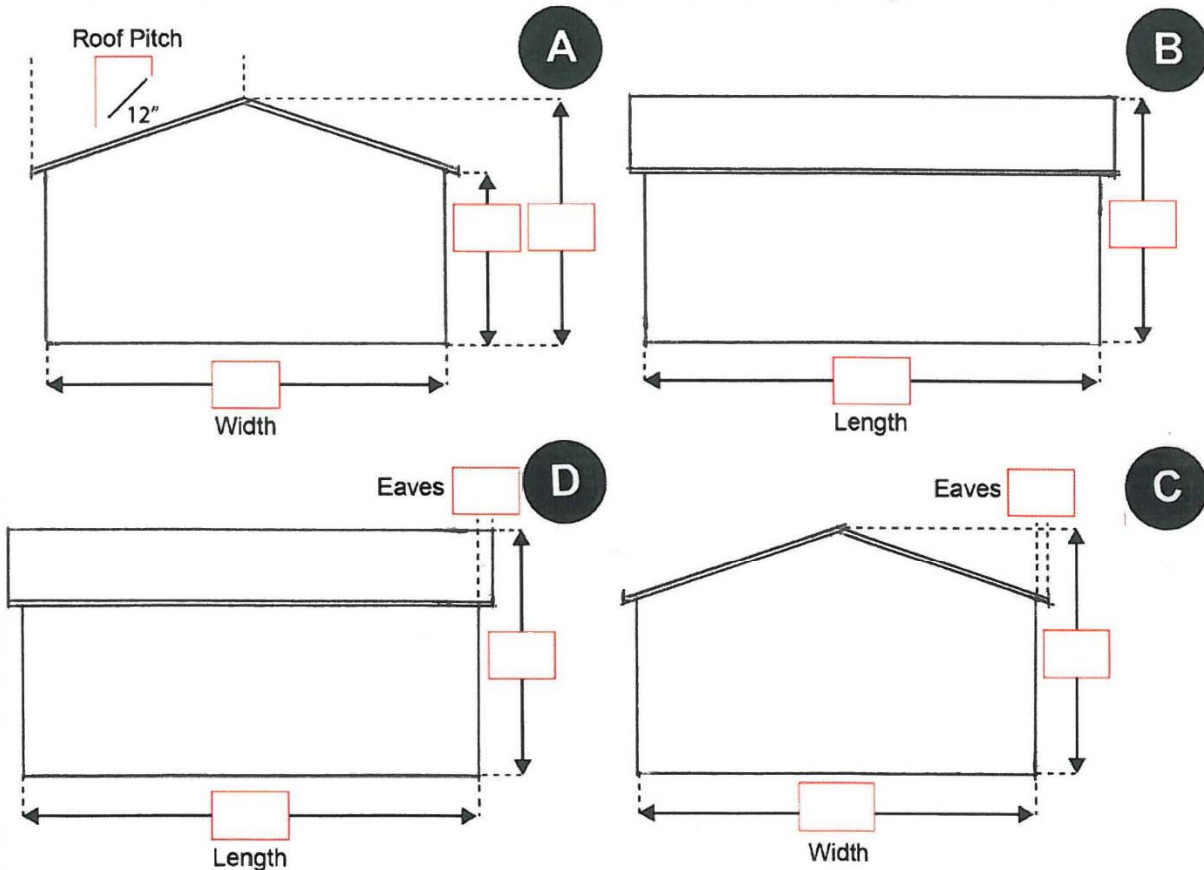
Please indicate North on the north arrow relative to the site plan view



## Site Plan View



**Elevation View:** Please show all doors and windows with their width and length dimensions



## Accessory Building Specifications

Name: \_\_\_\_\_ DP # \_\_\_\_\_  
Civic Address: \_\_\_\_\_ Legal Address: \_\_\_\_\_

The personal information on this form is collected under the authority of Section 33 (c) of the *Alberta Freedom of Information and Protection of Privacy Act*. The personal information will be used as contact information and to process your application. If you have any questions regarding the collection or use of this information contact the Supervisor, Support Services, Planning and Development, Timberlea Landing, 309 Powder Drive, T9K 0M3, or call (780) 793-1069.