



APPLICANT: _____ EMAIL: _____

REQUIRED INFORMATION FOR BUILDING APPLICATIONS

APPLICATION CHECKLIST FOR DECK

This Application checklist shall be **completed** and **attached** to your Building Permit application. All of the required information is necessary for the review of the application and for a timely decision to be rendered.

To expedite the evaluation, staff has been instructed to accept **only** complete applications, which require:

- All application submission requirements to be included in the application,
- All application submission documents to be clear, legible, and precise, and to be prepared to professional drafting standards.
- Every document submitted to have a title block with the project name, legal and municipal address and the name and phone number of the designer.

Should the above be considered inadequate by staff, the application shall be deemed **incomplete**; and it will not be reviewed, until the requirements have been satisfied.

All boxes shall be "CHECKED" and information indicated attached to the application.

OFFICE ✓	CLIENT ✓	APPLICATION SUBMISSION REQUIREMENTS	COMMENTS
<input type="checkbox"/>	<input type="checkbox"/>	<p>1. Site Plan: shall be drafted to scale and shall be provide the following information:</p> <p>Standard Information: shown on all plans as per the "How to Draw a Site Plan and Floor Plan" document.</p> <p>Information on the Plan:</p> <p><input type="checkbox"/> a. Location and dimensions of all existing buildings, including the proposed new deck.</p>	
<input type="checkbox"/>	<input type="checkbox"/>	<p>2. Deck Plan: shall provide the following:</p> <p><input type="checkbox"/> a. Details of the proposed deck showing, the joist span and spacing, joist connections (to the house), beam size and span between supports, location and type of supports and height of deck above grade.</p> <p><input type="checkbox"/> b. Guardrail height, space between verticals, stairs and handrail.</p> <p><input type="checkbox"/> c. Foundation details. (Permanent foundation, not affected by frost, is required if the height from grade to underside of joists is more than 2' 0").</p>	
<input type="checkbox"/>	<input type="checkbox"/>	<p>3 Details of Construction: Provide complete details of construction of the deck as per "Deck Checklist" document.</p>	
<input type="checkbox"/>	<input type="checkbox"/>	<p>4. Approved DP Drawings: Written confirmation if DP drawings are not required.</p>	
<input type="checkbox"/>	<input type="checkbox"/>	<p>5. Applicable Fees: Building Permit fees shall be made payable to the Regional Municipality of Wood Buffalo.</p>	

You will receive email notification upon issuance of Permit. Conditions will be attached to the Permit. The work is required to comply with all the conditions attached to the permit. It is imperative that the applicant carefully read and understand all the Permit conditions.

The personal information on this form is collected under the authority of Section 33 (c) of the *Alberta Freedom of Information and Protection of Privacy Act*. The personal information will be used as contact information and to process your application. If you have any questions regarding the collection or use of this information contact the Planning and Development, Timberlea Landing, 309 Powder Drive, T9K 0M3, or call (780) 793-1069.

Building Permit Application



Permit Type: Owner Contractor

Development Permit Number: _____

Application Date (M/D/Y): _____

Estimated Completion Date (M/D/Y): _____

Owner Name: _____ Mailing Address: _____
 City: _____ Province: _____ Postal Code: _____ Phone: _____
 Alt Phone: _____ Email Address: _____ Fax: _____

Contractor: _____ Mailing Address: _____
 City: _____ Province: _____ Postal Code: _____ Phone: _____
 Alt Phone: _____ Email Address: _____ Fax: _____

REGIONAL MUNICIPALITY OF WOOD BUFFALO
 Street Address: _____ Hamlet: _____
 Unit #: _____ Lot: _____ Block: _____ Plan: _____
 Legal Subdivision: Part of: _____ ¼ Sect: _____ Twp: _____ Rg: _____ W of: _____ Subdivision: _____
 Directions: _____
 Alberta New Home Warranty (applicable to all new homes) # _____

Architect and/or Engineer (if applicable): _____ Phone: _____

Project Information: Commercial Residential Multi-Family Industrial Institutional Oil & Gas Agriculture
 Type of Work:
 New Renovation Addition Acc. Building Bsmt. Dev Mobile Home Demolition Bsmt. Suite Other
 sq. meters: _____ sq. feet: _____ No. of Stories: _____ Building Classification: _____

Main Area: _____
 2nd Floor Area: _____
 Basement Area: _____
 Garage Area: _____
 Detached Garages must be on a separate permit.

Detailed Description of Work and/or intended use or occupancy of the building:

Project Value (Materials & Labour): \$ _____ Total Developed Area: _____ Sq. Ft.
 Permit Fee: \$ _____ *SCC Levy: \$ _____ TOTAL FEE: \$ _____
 *SCC Levy is 4% of the permit fee with a minimum of \$4.50 and a maximum of \$560

Payment Method:
 Visa M/C Debit Cheque Cash Authorization / Cheque Number _____
 Credit Card #: _____ Expiry Date: _____ Date of Authorization: _____
 Name of Cardholder: _____ Signature of Cardholder: _____

Please read the terms and conditions and sign the second page of this application. Then return the application with all your documentation to Planning and Development located at 309 Powder Drive.

Building Permit Application



Permit Terms and Conditions

1. Inspections are required for all permits; and, it is the applicant's responsibility to request the inspection when the work is ready. Contact 780-743-7813 or email inspections@rmwb.ca.
2. Permits will be expired if;
 - a. Work does not commence within 90 days of permit issuance, or
 - b. Work is suspended or abandoned for a period of 120 days, and
 - c. Work is not completed within 1 year from issuance. One-time permit extensions may be granted where applicable.
3. This permit is only applicable to the work detailed in the Description of Work and all other work completed, that is not listed on this permit, will be in non-compliance with the **Alberta Safety Codes Act**.
4. The permit holder is responsible to notify the permit issuer and has the right to cancel the permit. Contact the permit issuer if the following occurs;
 - a. If the permit holder does not intend to complete the undertaking, or
 - b. If there is a change in ownership from the owner as stated on the permit application.
5. The permit issuer has the right to cancel your permit if it is found the permit was issued in error due to incorrect or insufficient information in respect to the permit.
6. There are no refunds on permit fees once the permit has been processed.
7. No person shall deviate or authorize a deviation from a permit, or terms or conditions of a permit, without first obtaining the written permission of the permit issuer.
8. The permit holder will ensure that the construction site is identified.
9. The permitted work requires the approval of a Safety Codes Officer before any part of the building or system is covered or concealed. If required by a Safety Codes Officer, the owner shall uncover and replace at the owner's expense.
10. Permits must be inspected and compliant prior to the use and/or occupancy.
 - a. Commercial, Industrial and Institutional projects must have all the applicable electrical, plumbing, gas and ventilation permits inspected and compliant prior to issuance of the Occupancy Certificate. A final building inspection may be required prior to the issuance of the Occupancy Certificate.
 - b. Residential projects must have the applicable electrical, plumbing, gas, and ventilation permits inspected and compliant prior to the final building occupancy inspection.
11. Residential properties that intend to develop a secondary suite must install a 125 amp or larger electrical service.
12. The installation of CSST gas piping is required to be completed by a certified installer and proof of certification will be required at the time of inspection.
13. Homeowner's that obtain permits must complete the work and will be taking responsibility for ensuring the undertaking complies with the applicable codes and standards. The permit issuer will cancel the Homeowner Private Sewage, Electrical, Plumbing, Ventilation or Gas permit if;
 - a. A contractor is found completing the work.
 - b. You are not the registered owner of the residential premises in which the work is being performed.
 - c. You do not permanently reside 'in' or will reside 'in' the premises.
14. Only the permit applicant, representative of the applicant or owner is permitted to inquire about permit information, receive permit information and request inspections.
15. Re-inspection fees of \$175 will be applied to the permit record and no further inspections will be permitted until the fees have been paid, if;
 - a. The inspector is unable to complete an inspection due to unsafe access, no entry or unable to locate the site.
 - b. Deficiencies from a previous inspection were not corrected at the time of the re-inspection.

Permit Declaration

The permit applicant/owner acknowledges that the installation will be completed in accordance with the Alberta Safety Codes Act, Permit Regulations, and Regional Municipality of Wood Buffalo Permit Policy. The personal information provided on this form is protected by the **Freedom of Information of Privacy Act**. Your personal information will be used to process your application(s). Please be advised that your name, address and details related to your permit may be included on reports that are available to the public as required or allowed by legislation.

Applicant Name

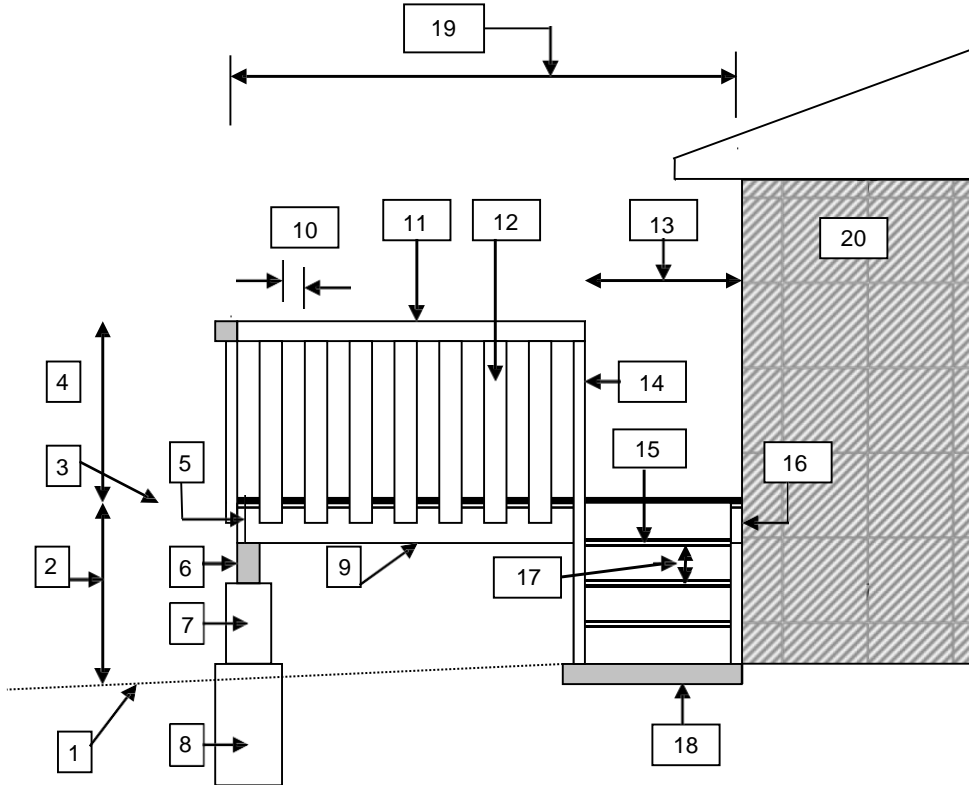
Applicant Signature

Date

Deck Construction Details

Owners Name: _____
 Location Address: _____
 Date: _____

The following information must be completed and submitted with your deck building permit application.



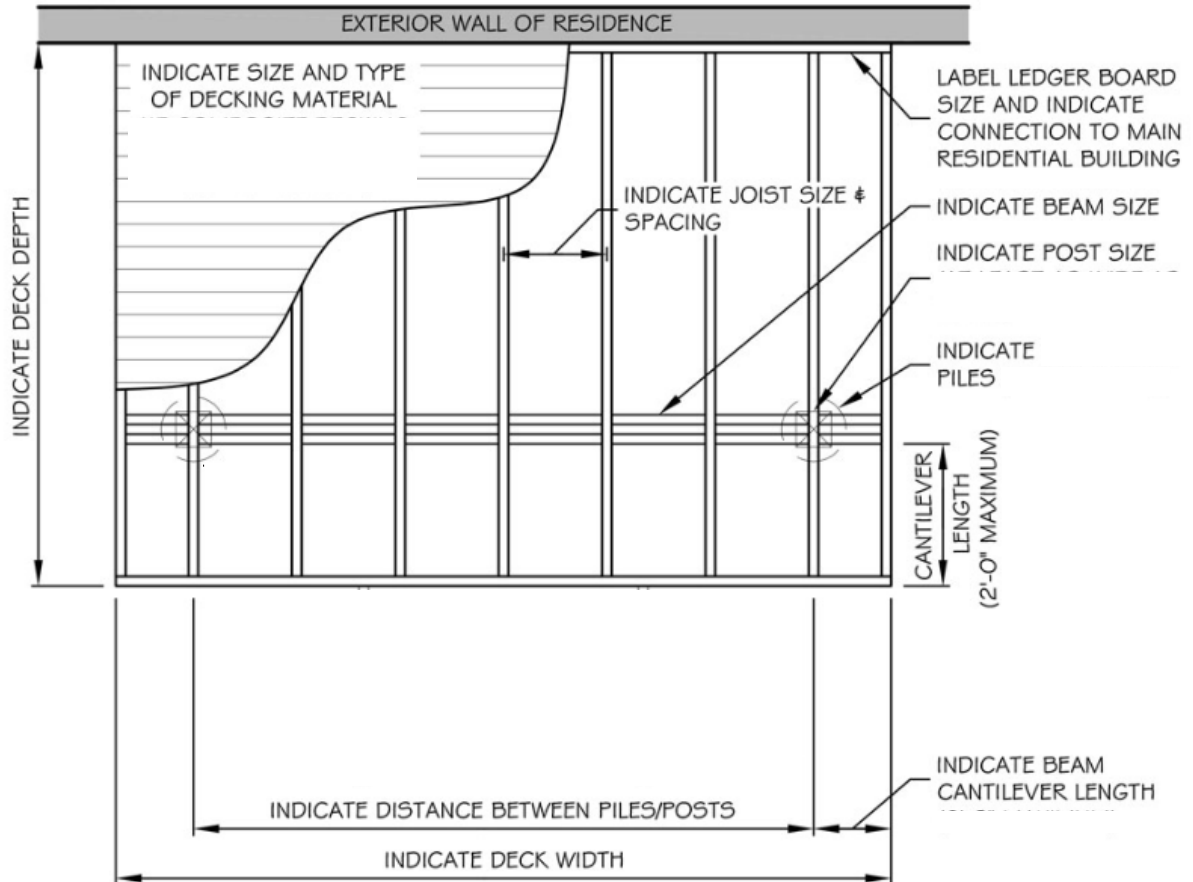
BASIC CODE INFORMATION:

- | | |
|---|--|
| <ol style="list-style-type: none"> 1. Grade: 2% slope for drainage 2. Deck height from grade: Specify (_____) 3. Floor decking: Specify (_____) 4. Height of guard from deck
 <input type="checkbox"/> 36" (for 2' to 6' deck height above grade)
 <input type="checkbox"/> 42" (for 6' over deck height above grade) 5. 2" x 10" End joist (or same size of floor joist)
 <input type="checkbox"/> Others: (_____) 6. 3 - 2" x 10" Built up beam
 <input type="checkbox"/> Others: (_____) 7. 6" x 6" wood post anchored to the concrete pile
 <input type="checkbox"/> Others: (_____) 8. <input type="checkbox"/> 12" Dia x 13' (4m) deep concrete pile/3-10m rebar
 <input type="checkbox"/> Screw Piles 6.5' (2m) deep
 <input type="checkbox"/> Others: (_____) 9. 2" x 10" floor joist @16" o/c.
 <input type="checkbox"/> Others: (_____) 10. 3 7/8" (100mm) max openings (spaces) in guards 11. Guardrail: Specify (_____) 12. Baluster (spindle): Specify (_____) | <ol style="list-style-type: none"> 13. 34" minimum stair width 14. Stair handrail 34" to 42" height measured vertically from the stair nosing. Handrail is required if stairs have more than 3 risers. 15. 10" stair tread, minimum
 <input type="checkbox"/> Others: (_____) 16. 2" x 10" Ledger (same size as joist)
 <input type="checkbox"/> Others: (_____) 17. Stair: Risers: 5" to 8"
 Runs: 10" to 14" 18. 4" thick concrete pad (optional) 19. Joist span: Specify (_____) 20. Existing house |
|---|--|

Note: The above information does not cover all relevant requirements of the Alberta Building Code. The details shown in the drawings are guidelines for your reference and information only. You may use other options provided the work complies with the code. If you have any question or need assistance please free to call.

Deck Construction Details

The following information must be completed and submitted with your deck building permit application.



Name:	Date:
Address:	