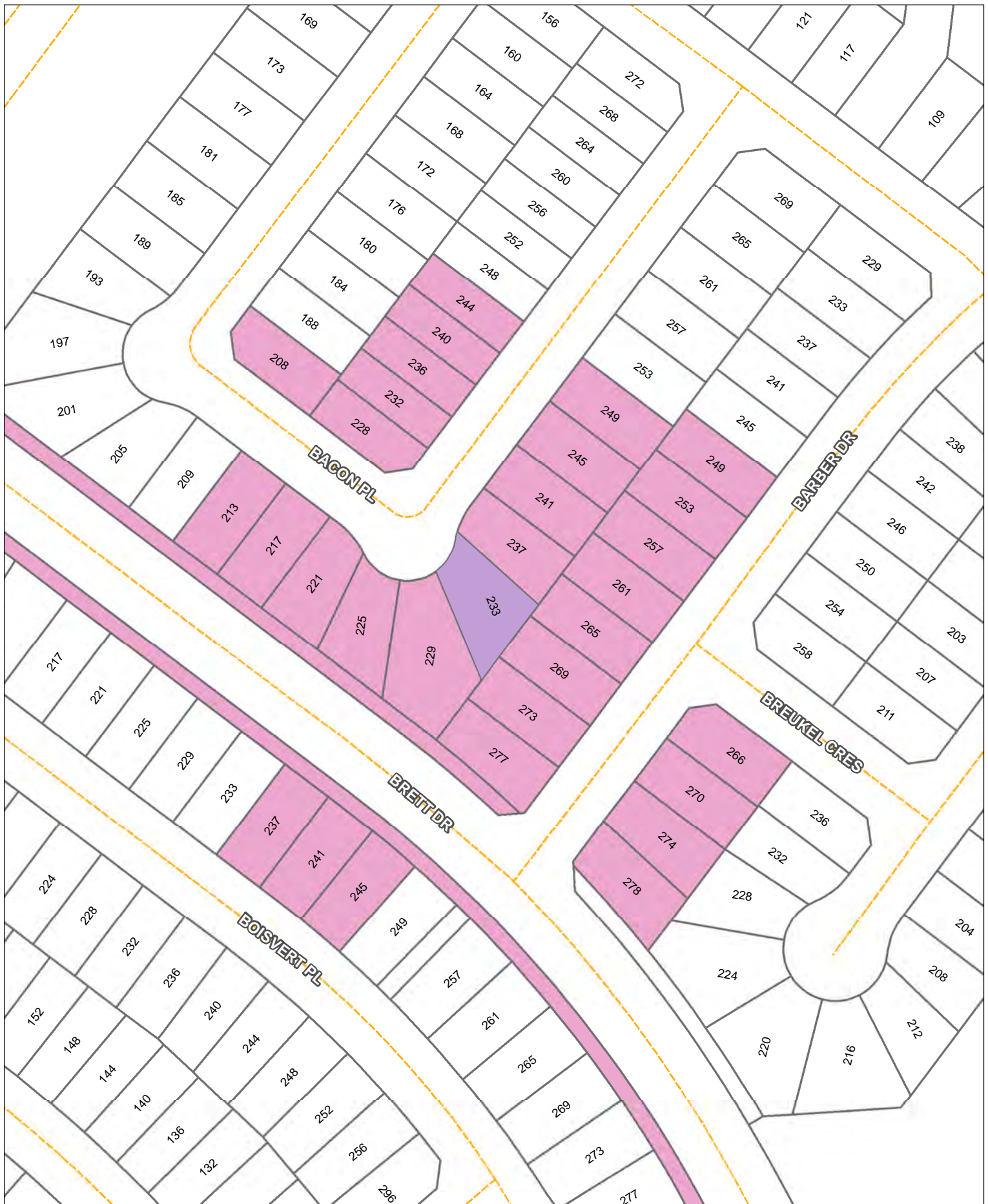


EXHIBIT LIST

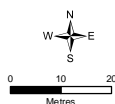
File Number	Appellant
SDAB 2025-009	Wood Buffalo Wellness Society

Legal Description	Civic Address
Lot 24, Block 10, Plan 8521147	233 Bacon Place

Exhibit #	Description	Filing Date
	Subject Area Map	2025-12-02
1.	Notice of Appeal (4 pages)	2025-12-02
2.	Development Permit No. 2025-DP-00319 (14 pages)	2025-12-02
3.	Appellant's Evidence Disclosure (30 pages)	2026-01-07
4.	Regional Municipality of Wood buffalo Evidence Disclosure – Planner's Report (116 pages)	2026-01-12



- Subject Area
- Notification Property within 60m
- Survey Parcels



233 Bacon Palce
Lot 24, Block 10, Plan 8521147



Map Produced by the Geographic Information Systems
Page 2
 Ticket: 25120203
 02 Dec 2025



Wood Buffalo
TRIBUNALS

SUBDIVISION AND DEVELOPMENT APPEAL BOARD

NOTICE OF APPEAL

In accordance with Section 678 and 686 of the Municipal Government Act and the Regional Municipality of Wood Buffalo Land Use Bylaw 99/059, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame.

Section 1 – Property Information

Legal Land Description: (i.e. Lot, Block, Plan or ATS 1/4 Sec-Twp-Rng-Mer)

Lot 24 Block 10 Plan 8521147 ATS

Civic Address 233 Bacon Place

Development Permit Number or type of Order 2025-DP-00319

Section 2 - Appellant Information

NB: At the time of the appeal hearing the individual acting as agent must produce the completed and signed Agent Authorization Form.

Appellant Name (If the Appellant is a company, enter the complete legal name of the company)

WOOD BUFFALO WELLNESS SOCIETY

Agent's Name (if applicable)

Contact Name (if different) and position held

NIKOLE LEWIS - FACILITIES MANAGER

Mailing Address

City/Town

Province

Postal Code

PO BOX 5748

FORT MCMURRAY

AB

T9H 4V9

Telephone Number (Daytime)

Alternate Telephone Number

Email Address

ATIA 20(1)

facilities@woodbuffalowellnesssociety.com

Section 3 – Appeal (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit

Subdivision Application

Notice of Order

☐ Approval

☒ Condition of Approval

☐ Refusal

☐ Approval

☐ Condition of Approval

☐ Refusal

☐ Notice of Order

☒ I/We are the Applicant or Land Owner of the subject property

☐ I/We are a person affected by an order, decision or development permit

Section 4 – Reasons for Appeal

Section 678 and 686 Municipal Government Act require that the written Notice of Appeal must contain specific reasons for the appeal. In support of your appeal, you are requested to provide a full statement of the grounds and reasons of your appeal. You may include any photographs, drawings or plans for clarification.

I/We hereby appeal the decision of the Approval Authority for the following reason(s):

Please see the attached.

(Attach a separate page if required)

PLEASE SEE REVERSE FOR IMPORTANT INFORMATION

November 26, 2025

Date

ATIA 20(1)

Signature of Appellant/Agent

If an Agent is representing the property owner, a letter is required from the owner giving consent to a property inspection.

Registered Owner:

I/We hereby give permission to the Regional Municipality of Wood Buffalo to do a site inspection and take photographs of the property as necessary for the purpose of this Appeal.

ATIA 20(1)

Signature of Registered Owner

Please return the completed form and prescribed filing fee to:

Clerk of the Subdivision and Development Appeal Board, 7th Floor, Jubilee Center, 9909 Franklin Avenue, Fort McMurray AB T9H 2K4
Telephone: 780-743-7001 Email: sdab@rmwb.ca

Protection of Privacy

The personal information you provide on this form is collected under the authority of section 4(c) of the Protection of Privacy Act. It will be used to process your appeal with the Subdivision and Development Appeal Board (SDAB). Your information will be disclosed in accordance with section 13(1) of the Protection of Privacy Act. If you have any questions regarding the collection or use of this personal information, please contact the Legislative Officer – SDAB, 7th Floor, 9909 Franklin Avenue, Fort McMurray, AB T9H 2K4, or call 780-788-2222.

For Office Use Only

Appeal #:	Fee:	Appeal Hearing Date:	Date Applicant Notified:	Date Appellant Notified:
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¹ Agent – A person who acts for a Property Owner, Applicant, Appellant, and/or Affected/Adjacent Property Owner during the appeal hearing process or at a hearing before the Subdivision and Development Appeal Board.

To:
Subdivision and Development Appeal Board
Regional Municipality of Wood Buffalo

From:
Wood Buffalo Wellness Society
Fort McMurray, AB

Re: Development Permit 2025-DP-00319

Property: 233 Bacon Place

November 25, 2025

Attachment 1- Section 4 – Reasons for Appeal

We, the Wood Buffalo Wellness Society, submit this request to appeal the decision of the Development Authority to apply boarding-house parking requirements to a group home, resulting in an unjustified restriction on occupancy.

Currently, the residence at 233 Bacon Place has the capacity for 7 residents. However, during the time that we were seeking approval of the development permit, we were asked to reduce the occupancy of the residence from 7 to 5 to comply with the LUB 99/059, Residential – Boarding House minimum parking requirements of 1 stall per rentable bedroom. We proposed implementing a policy that limits use of personally owned vehicles to zero or 1 per residence. This would be very easy for us to implement and enforce given our level of involvement and daily staff presence at the home. This policy change would effectively deal with any potential for increased traffic congestion or strains on parking in and around the neighborhood. Given the proposed policy changes, the five available parking stalls should be more than enough to accommodate the needs of the home.

We feel that the development authority did not consider all relevant evidence, including but not limited to our proposed policy changes, when imposing the parking/occupancy conditions for our development permit.

We are asking that the Land Use Bylaw for Boarding Houses regarding minimum parking requirements not be applied as a condition to our Group Home Development Permit for the following reasons:

- 1) To date, only 6 participants out of over 2000+ in the program have owned a personal vehicle. Imposing a restriction on occupancy based on parking is inappropriate for this situation and using the boarding house parking requirement as a proxy for occupancy demand overestimates the real parking need.
- 2) The definition of a Group Home is significantly different from a Boarding House. While boarding houses are categorized as residential, they serve a fundamentally different purpose from group homes. Specifically, boarding houses are defined by and run for the purpose of providing lodging for compensation, they service independent, short-term and transitional tenants and assume higher vehicle ownership and turnover.

Group homes, by contrast, provide structured, supportive housing that serve individuals with disabilities protected under the Alberta Human Rights Act. They have very low vehicle ownership rates and operate as a single household environment, not a lodging business. They are also licensed and regulated by a provincial authority.

The fact that both appear under “residential uses” does not mean they generate the same parking demand or should be regulated in the same way. Given this distinction, we feel that the use of the Boarding House parking bylaw to limit occupancy is unnecessarily restrictive and inappropriate in this case.

- 3) Under Alberta’s Municipal Government Act (MGA), development conditions (like parking) should be relevant, reasonable, and tied to real impacts. There is no evidence that sober living homes generate the parking demand assumed for boarding houses. Using a parking restriction designed for a different residential use to prevent a group home from housing the appropriate number of residents is unreasonable, not connected to the actual parking impact and not related to genuine land-use concerns. Instead, it functions as an indirect method of reducing occupancy that is inconsistent with the intent of the MGA.
- 4) People living in sober living homes are recognized as having disabilities under the Alberta Human Rights Act (addiction is a protected disability). Municipalities have a legal obligation to avoid decisions that create discriminatory barriers. Restricting the number of residents based on an inflated parking standard has a disproportionate negative impact on persons with disabilities by denying them equal access to community-based housing and conflicts with the principle of reasonable accommodation. Municipalities must not apply bylaws in ways that effectively exclude disability-related housing from residential neighborhoods.
- 5) As the Wood Buffalo Wellness Society is a not-for-profit organization, having to significantly reduce the occupancy of our homes to comply with this imposed parking bylaw directly undermines the financial and operational viability of the program. Lowering the allowable number of residents can force programs like ours into a position where we can no longer meet minimum operating thresholds, leading to reduced services, financial instability, or

closure. The consequences of losing these programs extend far beyond the organization itself. Community-based non-profit housing plays a critical role in public health, social stability, and neighborhood safety. When these services become unavailable, individuals in need are displaced into unstable or unsafe environments, emergency shelters, hospitals, or the criminal justice system. These systems that are already strained and far more costly for taxpayers. As we are currently in a state of local emergency in addictions and mental health for Indigenous communities, the loss of the Sakihitowin program would have a negative impact on our community as a whole.

In conclusion, overly restrictive occupancy rules do not simply affect one home, they weaken the entire continuum of care. When a non-profit program is prevented from operating at an effective capacity, the whole community loses access to an essential resource that supports recovery, reduces harm, and contributes to safer, healthier neighborhoods.

November 18, 2025

Applicant

WOOD BUFFALO WELLNESS SOCIETY
PO Box 5748
Fort McMurray, AB T9H4V9
(780) 713-9794

Owner

ROBERT;& CHANDRA L;FLETT

ATIA 20(1)

**RE: Group Home (5-Bedroom Adult Recovery Home).
233 BACON PLACE
Lot: 24 Block: 10 Plan: 852 1147**

Your application for a development permit at the above location has been approved by the Development Officer. This approval is subject to the conditions as outlined in the enclosed Development Permit.

PLEASE READ PERMIT CONDITIONS CAREFULLY.

This development permit shall expire and no longer be valid after one year from the date of decision of the permit if no construction has been initiated. Any other necessary permits shall be in place prior to commencement of any construction or occupancy. In the case of a change of use within an existing structure, where no significant construction or reconstruction is necessary, the applicant shall have the new use in operation within one year of the decision of the development permit.

IMPORTANT NOTE

1. Under the Municipal Government Amendment Act, this approval may be appealed within twenty one (21) days after the day of decision being posted. Should this decision be appealed within twenty one (21) days after the Date of Decision, this permit shall not become effective until the Subdivision and Development Appeal Board has determined the appeal and the Permit may be modified or nullified thereby. Commencement of the approved Development prior to expiry of the appeal period is at your own risk.
2. An appeal shall contain statement of the grounds of appeal and shall be delivered personally or by registered mail so as to reach the Secretary of the Subdivision and Development Appeal Board, 9909 Franklin Avenue, Fort McMurray, AB T9H 2K4 within the prescribed time period of twenty one (21) days.
3. Upon delivery of Notice of Appeal, the appellant shall pay to the Regional Municipality of Wood Buffalo, where the appellant is the owner of the site, or his agent, a fee of \$1000.00.

Compliance with other legislation - A person applying for, or in possession of a valid development permit is not relieved from full responsibility for ascertaining and complying with, or carrying out development in accordance with:

- a. the requirements of the Safety Codes Act, Environment Protection and Enhancement Act and Natural Resources Conservation Board Act;
- b. the requirements of any other Federal, Provincial, or Municipal statute, regulation code or standard; and
- c. the conditions of any caveat, covenant, easement or other instrument affecting a building or land.

The Municipality is not responsible for not does the Municipality have any obligation whatsoever to determine what other legislation may apply to a development, nor monitor or enforce compliance with such legislation.

REGIONAL MUNICIPALITY OF WOOD BUFFALO
Planning & Development Department
per:

ATIA 20(1)

November 18, 2025

Date

Elias Biolley-Villalobos
Planner II
Planning and Development Dept.

Regional Municipality of Wood Buffalo
DerbeElias.BiolleyVillalobos@rmwb.ca

Applicant: markamy@woodbuffalowellnesssociety.com

Issued : November 18, 2025

Development Permit

233 BACON PLACE

Lot	Block	Plan	Section	Township	Range
24	10	852 1147	26	89	10

Group Home

Group Home (5-Bedroom Adult Recovery Home).

Discretionary Uses – Planning Commission:
Advertising Date: Thursday, November 20, 2025

Appeal period is twenty-one (21) days from the advertising date.

- This development was approved by the Development Officer and is subject to the conditions attached to this permit.
- All conditions stated on this development permit must be complied with.
- You have one year from Date of Decision to commence construction. All appropriate building/mechanical permits must be applied for and issued. In the case of a change of use within an existing structure where no significant construction or reconstruction is necessary, the applicant shall have the new use in operation within one year of the decision of the development permit.

Regional Municipality of Wood Buffalo
Planning & Development Department
per:

ATIA 20(1)

Issued : November 18, 2025

Date

Elias Biolley-Villalobos
Planner II
Planning and Development Dept.

Regional Municipality of Wood Buffalo
DerbeElias.BiolleyVillalobos@rmwb.ca

Advisory Notes:

- 1 Any signage proposed for this development shall require a separate Development Permit application and approval.
- 2 All Federal, Provincial and Municipal statutes and regulations shall be met, including the Alberta Building Code.
- 3 A Utility Installation Permit may be required from the developer and shall be obtained from Engineering Services Division prior to installing underground utilities.
- 4 A Municipal Business License may be required for this development. Please contact the Planning and Development Services front counter staff at permit.inquiries@rmwb.ca for further information and, if applicable, to obtain an application.
- 5 The Alberta Fire Code applies in and around buildings existing or being constructed on a site. Complete project plans and specifications, construction fire safety plans, and fire related activities requiring Fire Prevention Permits shall be reviewed by the Fire Authority prior to the commencement of any work related thereto. Inquiries and permit applications shall be submitted to the Fire Authority.
- 6 The property has been previously approved for the following Development Permits:
1988-142 - Single Family Dwelling.
- 7 **GROUP HOME** means a development using a dwelling unit as a facility which is authorized, licensed or certified by a provincial authority to provide room and board for foster children or for physically, mentally, socially, developmentally or behaviorally challenged persons and which may be for the personal rehabilitation of its residents either through self-help or professional care, guidance and supervision. The residential character of the development shall be maintained with the occupants living together as a single housekeeping group using shared kitchen facilities. A group home may incorporate accommodations for resident staff as an accessory use.
- 8 The Safety Code department has the following comment:
The home will require an occupancy permit and inspection, if additional work is required such as egress windows, smoke or CO alarms then additional safety codes permit will be required
- 9 The Fire Prevention department has the following comment:
01. Ensure all required permits from the RMWB Safety Codes Services department are applied for, obtained, and that the permits are satisfactorily closed out.

Note: Private dwellings (single-family homes) in use as a dwelling, that are otherwise able to maintain a Group C residential major occupancy as per the National Building Code - 2023 Alberta Edition, fall outside the scope/jurisdiction of the RMWB to enforce compliance-monitoring activities of the Safety Codes Act regarding the fire discipline. Please advise the Fire Prevention Branch if the premises is determined to require to be re-classified as a Group B, Division 4 major occupancy (home-type care occupancy).

Conditions:

- 1 This development is classified as a Group Home (5-Bedroom Adult Recovery Home) and is a Discretionary Use–Planning Commission in the R1 – Single Detached Residential District.
- 2 Construction materials, including garbage, shall be stored so as not to create a nuisance to neighbouring properties.
- 3 The building location, design and external finish shall be as indicated on the approved drawings. Any changes to the approved plans shall be submitted to the Development Officer for further approval, even if said changes are minor in nature and are consistent with the regulations applied to the site.
- 4 A minimum of five (5) on-site parking stalls shall be provided for this development. The required parking stalls shall be accessible from a public thoroughfare, and be surfaced with gravel, asphalt, concrete or a similar material.
- 5 The gravel area used for the driveway expansion must obtain an Approved Boulevard Crossing Permit prior to an Occupancy Permit.
- 6 A minimum of thirty percent (30%) of the gross lot area shall consist of soft landscaping.
- 7 The Group Home shall maintain its residential character and remain in a good state of repair, including proper upkeep and cleanliness.
- 8 The garbage and waste material shall be stored in weather-proof and animal-proof containers and shall be visually screened in a manner compatible with the design and external materials of the principal buildings on the site.
- 9 The Group Home shall be equipped with functional security cameras around the exterior of the single detached dwelling to enhance safety and security.
- 10 All on site lighting shall be located, oriented and shielded so as to restrict the unnecessary illumination of adjacent residential properties.
- 11 The existing rear Accessory Building (shed: 4.92m x 3.71m) must obtain an Approved Development Permit prior to an Occupancy Permit.
- 12 All required Safety Code permits under the Safety Code Act in the: building, mechanical, electrical, gas, plumbing and private sewage disciplines must be obtained for this development. Please contact the Regional Municipality of Wood Buffalo - Planning and Development Branch to obtain the required Safety Code permits or for information regarding these permits 780-799-8695.
- 13 The Group Home must obtain authorization, licensing, or certification from a provincial authority to operate. They must adhere strictly to all pertinent Statutes and Regulations established by the Government of Alberta within six (6) months of the issuance of this Development Permit.



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0010 037 448 8521147;10;24 072 545 401

LEGAL DESCRIPTION
PLAN 8521147
BLOCK 10
LOT 24
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: REGIONAL MUNICIPALITY OF WOOD BUFFALO (FORT MCMURRAY)

REFERENCE NUMBER: 072 031 780

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
072 545 401	11/09/2007	TRANSFER OF LAND	\$575,000	\$575,000

OWNERS

ROBERT M FLETT

AND

CHANDRA L FLETT

BOTH OF:

ATIA 20(1)

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
152 113 750	16/04/2015	MORTGAGE MORTGAGEE - SERVUS CREDIT UNION LTD. 151 KARL CLARK ROAD NW EDMONTON ALBERTA T6N1H5

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

072 545 401

REGISTRATION

NUMBER

DATE (D/M/Y)

PARTICULARS

ORIGINAL PRINCIPAL AMOUNT: \$665,000

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 12 DAY OF AUGUST,
2025 AT 01:49 P.M.

ORDER NUMBER: 54535779

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



Wood Buffalo Wellness Society
PO Box 5748
Fort McMurray, Alberta
T9H 4V9

Phone (780) 334 – 2398
Fax (780) 334 – 2352
www.woodbuffalowellnessociety.com

July 31, 2025

To Whom It May Concern,

I/We, the undersigned, am/are the registered owner(s) of the property located at 233 Bacon Place.

I/We hereby authorize Wood Buffalo Wellness Society, to act on my/our behalf in submitting a Development Permit (DP) application for a Group Home at this property. This includes providing all required documentation, including the building plans.

This authorization is given voluntarily, and the information above is accurate to the best of my/our knowledge.

Sincerely,

Robert Flett & Chandra Flett

Signature :

ATIA 20(1)

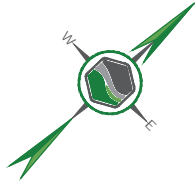
ATIA 20(1)

Date: August 7, 2025

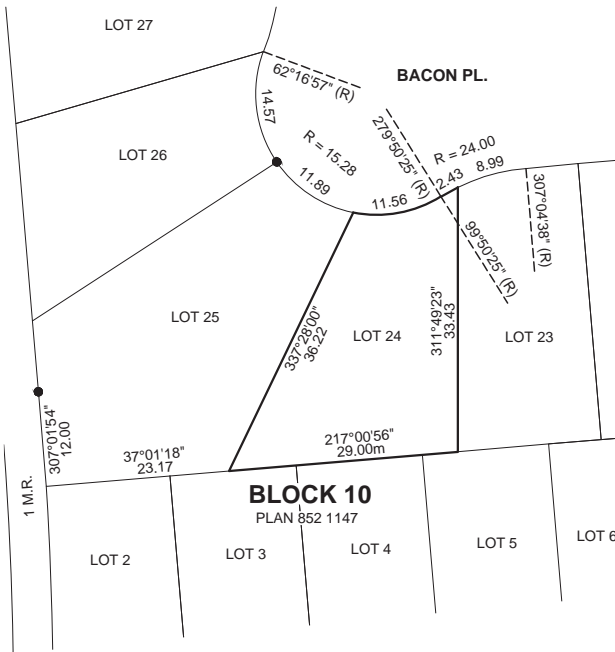
Description:

Recovery Home (sober home), The program is semi structured with a combination of required participation and exercising autonomy and independence. Residents are exposed to traditional recovery paths like mental health counselling and participation in peer support groups as well as provided opportunities for employment & training, education, volunteering, and leisure activities. 90% of the residents we work with are parents. In cases of family system disruption, we work with all parties to facilitate thoughtful family reunification plans. We work with many partner agencies to provide wraparound support with a multi-disciplinary approach to addiction and mental health recovery.

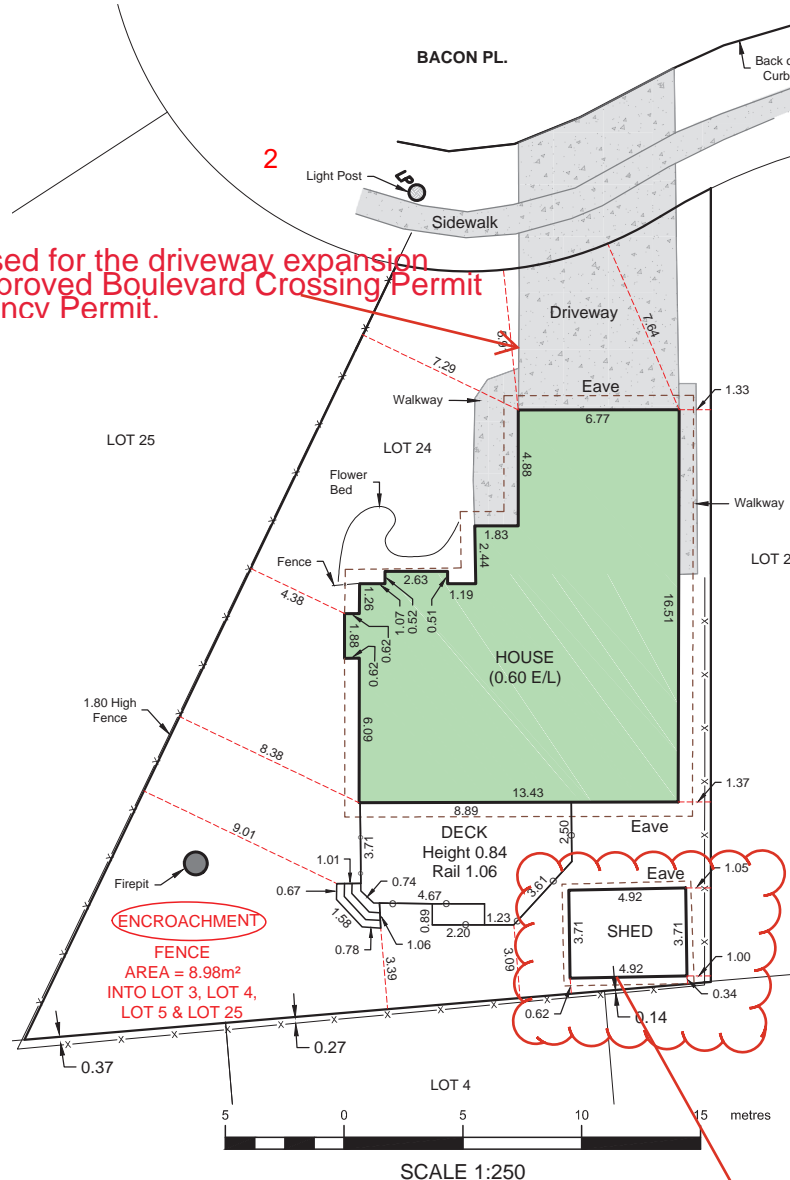
ATIA 20(1)



The gravel area used for the driveway expansion must obtain an Approved Boulevard Crossing Permit prior to an Occupancy Permit.



SCALE 1:750



SCALE 1:250

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

LOT 24 BLOCK 10 PLAN 852 1147

TIMBERLEA

FORT McMURRAY - ALBERTA

REG. NUMBER	NATURE	PARTICULARS
152 113 750	Mortgage	Servus Credit Union Ltd.
-	-	-
-	-	-
-	-	-
-	-	-

Information based on C. of T. # 072 545 401 Searched on August 11, 2025
Civic Address: (The Property) 223 Bacon Place
Distances shown are in metres and decimals thereof
Unless otherwise specified, the distances shown relate to distances from the property boundaries to the outside extremity of the siding walls only at the date of survey.
Statutory iron posts found shown thus
Eaves dimensioned from siding to fascia shown thus
Radial Bearings shown thus

Certification: I hereby certify that this Report, which includes the related survey, was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

- the plan illustrates the boundaries of the Property, the improvements as defined in Part C, Section 6.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and rights-of-way affecting the extent of the title to the Property;
- the improvements are entirely within the boundaries of the Property; - except fence into Lot 3, Lot 4, Lot 5 & Lot 25;
- no visible encroachments exist on the Property from any improvements situated on an adjoining property;
- no visible encroachments exist on registered easements or rights-of-way affecting the extent of Property.
- the survey was completed on the 23rd Day of July, 2025
- fences are within 0.20m of the property line - except as noted herein

Purpose: This Report and related plan have been prepared for the benefit of the Property owner, subsequent owners, and any of their agents for the purpose of (a land conveyance, support of a subdivision application, a mortgage application, a submittal to the municipality for a compliance certificate, etc.). Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility-rights-of-way affecting the extent of the Property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report.
The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user.
The information shown on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements because subsequent development changes on the property will not be reflected on the report.

This document is not valid unless it bears an original signature in blue ink and LN Land Development Technologies Inc. permit stamp in red ink.
Dated at Fort McMurray, Alberta.
This 11th day of August, 2025.

ATIA 20(1)

Alberta Land Surveyor
© Geoffrey Scott, A.L.S., 2025

Client: Wood Buffalo Wellness Society

Dwg. No.: LN012358-002-RPR_0

Date: August 11, 2025

SR/DR By: J.B./K.D.

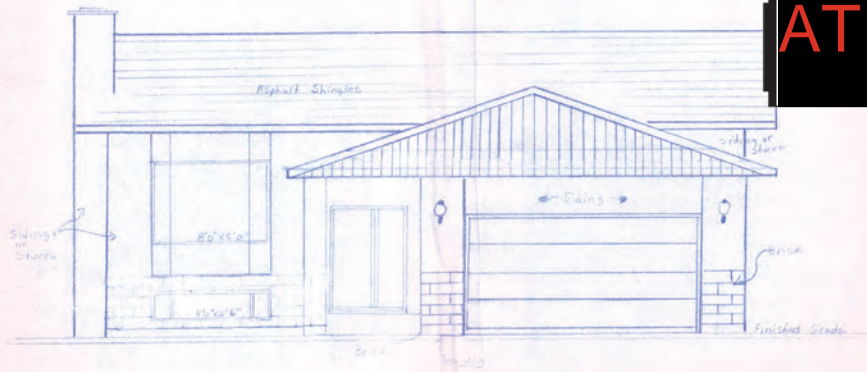
Page 1 of 1



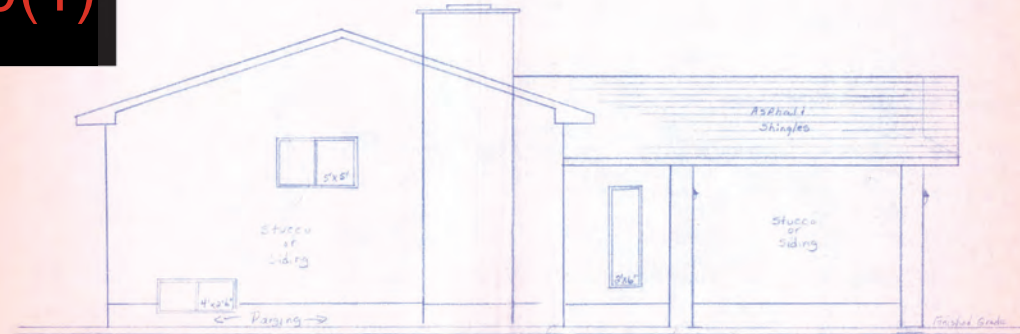
Toll Free 1-855-488-9064 www.lnldt.ca

The existing rear Accessory Building (shed: 4.92m x 3.71m) must obtain an Approved Development Permit prior to an Occupancy Permit.

ATIA 20(1)



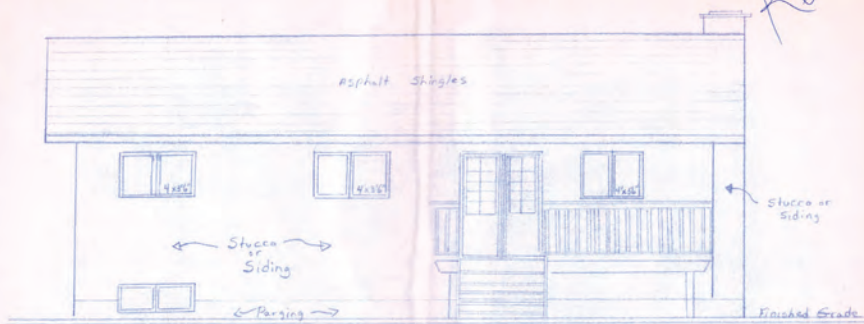
Front Elevation



Left Elevation

CITY OF FORT McMURRAY	
EXAMINED	
Date	01/27/18
Comm	ATIA 20(1)
Building Inspection Division	

Reverse Plan



Rear Elevation



Right Elevation

development application
conditional
approval

ATIA 20(1)

date 01/30/18

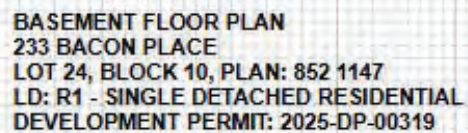
ATIA 20(1)

Designed & Drawn By Owner (Chad Construction Ltd.)

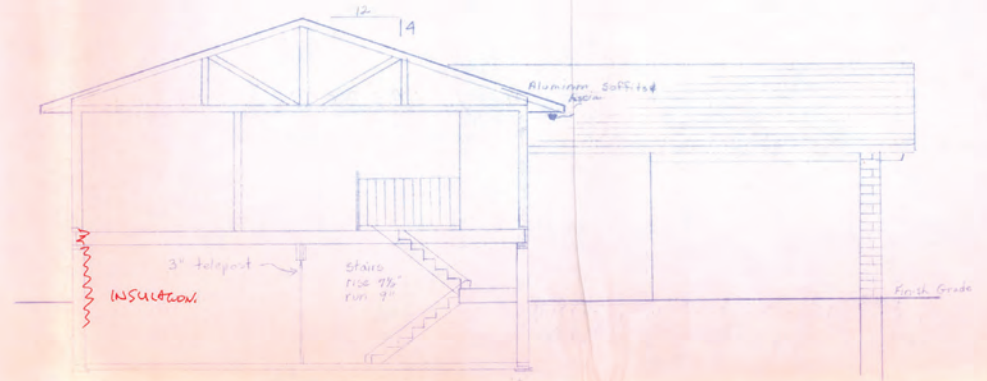
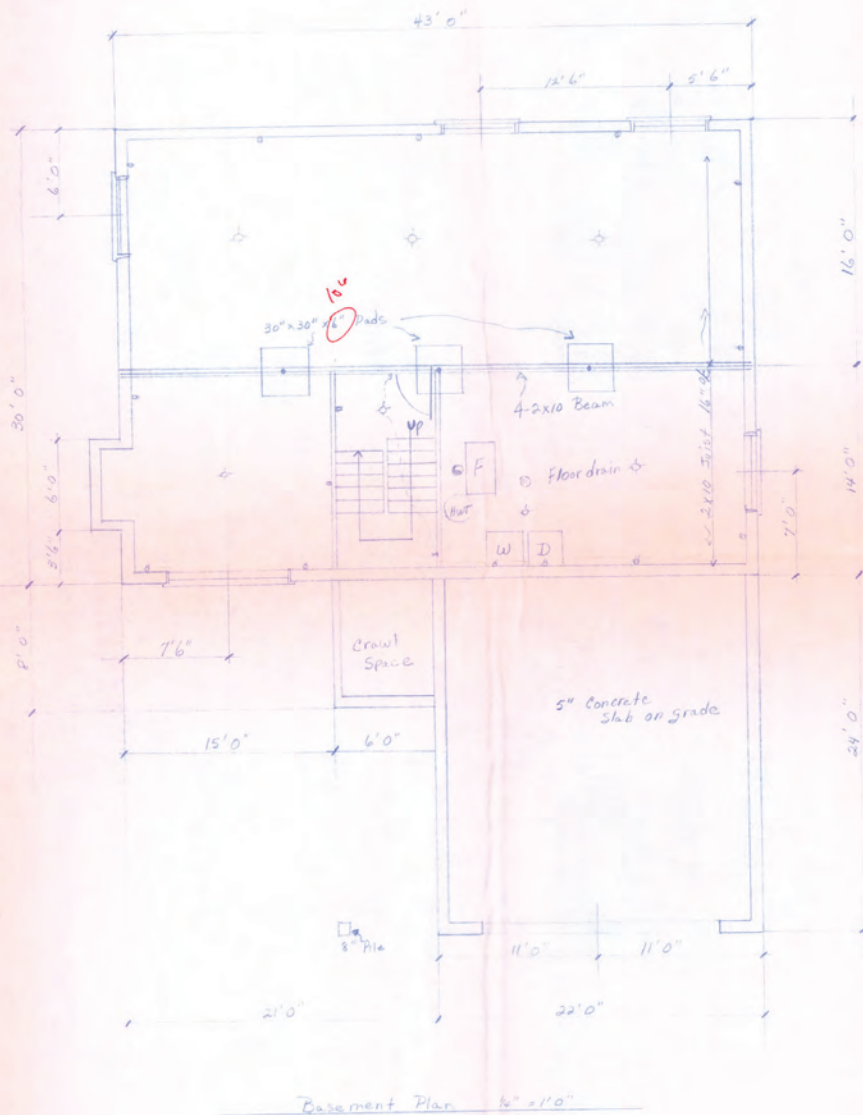
4



5



Page 19



Specifications

Roof Construction

#210 Asphalt Shingles
 Roof sheathing
 Approved Trusses 24" o/c
 R-10 Insulation
 4 mil Poly
 1/2" Drywall
 Painted or Textured

Exterior Walls

siding and/or Stucco
 Building Paper
 3/4" sheathing
 2x6 Studs 16" o/c
 R-10 Insulation
 4 mil Poly
 1/2" Drywall Painted

Floor Construction

Carpet and/or tile
 5/8" PLS Subflooring
 2x10 Floor Joist 16" o/c
 on 4x2x10 Beams
 on teleposts

Interior Walls

2x4 Studs 16" o/c
 1/2" Drywall with Sticker
 Painted

Preserved wood Foundation (Permit)

2x6 PLS Studs 16" o/c
 R-10 Insulation and 4 mil Poly
 1/2" Drywall

Designed & Drawn By: G. J. G. J.



TESTIMONIAL EVIDENCE SUMMARY

SDAB Appeal Hearing 2025-009

Introduction

- Brief background on our organization and the Sakihitowin Program, a sober living / supportive housing program serving individuals recovering from substance dependence.
- Description of Development Permit 2025-DP-00319 and the conditions imposed by the Development Authority, specifically occupancy limits derived from boarding house parking standards.
- Reason for the appeal:
 - I. The misclassification and inappropriate application of boarding house parking bylaws to a group home operating as a social program.
 - II. The resulting unnecessary and disproportionate restriction on a use intended to serve persons with disabilities, contrary to sound planning principles and broader legislative mandates.

Scope of Testimony

- Motivations for submitting development permit applications with the RMWB.
- Overview of the specific condition(s) applied by the Development Authority and how those conditions were derived.
- Negative impacts of the imposed conditions on:
 - I. Program viability,
 - II. Service delivery,
 - III. Community outcomes.
- The discretionary use of Development Authority powers and concerns that discretion may have been influenced by neighbourhood opposition or perceived “contentiousness,” rather than evidence of land-use impacts.
- St. Albert group home appeal.
- Brief review of the Ontario Human Rights Commission study on Systemic and Societal Human Rights Issues in Housing and its relevant findings on supportive housing that relate to this issue.
- Reasonable and proportionate alternatives to the imposed condition(s).

Documentary Evidence

- Approved Development Permit 2025-DP-00319, including advisories and conditions.
- Relevant definitions from Land Use Bylaw No. 26/001:
 - I. Institutional and Civic,
 - II. Group Home,
 - III. Boarding House.
- Correspondence to the RMWB by Jo-Anne Packham discussing the parking condition.
- Correspondence records referencing the “contentious nature” of group homes and frequency of resident concerns.
- St. Albert Gazette, Feb. 17, 2017 – “*Group Home Appeal Denied*”.

Observed or Anticipated Impacts

The imposed conditions:

- The imposed occupancy restriction threatens the financial viability of the Sakihitowin Program.
- Reduced occupancy undermines staffing, programming, and support services, threatening the program’s long-term sustainability.
- Loss or weakening of supportive housing creates a gap in services, disrupting the continuum of care and negatively affecting participant outcomes.
- The decision creates an unnecessary barrier for persons with disabilities to live and recover within the community, contrary to inclusive planning principles

At the same time there is no evidence of parking congestion or traffic impacts.

Response to the Development Authority Decision

- While we acknowledge the Development Authority’s discretion, we disagree with how that discretion was exercised in this instance.
- The imposition of occupancy restrictions appears to rely on:
 - I. An inappropriate comparison to boarding houses, and
 - II. Concerns that are not supported by evidence of parking or traffic impacts.
- References within the record to the “contentious nature” of group homes, raise concern that neighbourhood opposition, rather than land-use planning considerations, may have influenced the decision.
- While this is not a human-rights complaint, the Alberta Human Rights Act provides relevant context:
 - I. Addiction is recognized as a disability,

- II. Municipal decisions should avoid disproportionate adverse effects on protected groups without justification.
- The imposed condition reflects a misclassification of the use rather than a response to demonstrated impacts.

Mitigation or Alternatives

We propose reasonable, less intrusive alternatives:

- That the Development Authority does not apply boarding house parking bylaws to group homes operating as social programs.
- Implementation of an internal vehicle-use policy limiting personal vehicle use to available on-site parking.
- Occupancy limited to one resident per available bedroom, consistent with residential norms.

These measures directly address parking concerns without misclassifying the use or undermining program viability.

Conclusion / Key Takeaways

- Boarding house parking standards were applied without evidence of need.
- Occupancy limits derived from those standards threaten program viability and community benefit.
- The decision reflects an improper reliance on perceived controversy rather than land-use impacts.
- Reasonable, proportionate alternatives exist and should be adopted.

Outcome Requested

The SDAB vary/amend the development permit by:

- Removing the application of boarding house parking standards,
- Amending occupancy conditions consistent with the proposed alternatives.

November 18, 2025

Applicant

WOOD BUFFALO WELLNESS SOCIETY
PO Box 5748
Fort McMurray, AB T9H4V9
(780) 713-9794

Owner

ROBERT;& CHANDRA L;FLETT

ATIA 20(1)

**RE: Group Home (5-Bedroom Adult Recovery Home).
233 BACON PLACE
Lot: 24 Block: 10 Plan: 852 1147**

Your application for a development permit at the above location has been approved by the Development Officer. This approval is subject to the conditions as outlined in the enclosed Development Permit.

PLEASE READ PERMIT CONDITIONS CAREFULLY.

This development permit shall expire and no longer be valid after one year from the date of decision of the permit if no construction has been initiated. Any other necessary permits shall be in place prior to commencement of any construction or occupancy. In the case of a change of use within an existing structure, where no significant construction or reconstruction is necessary, the applicant shall have the new use in operation within one year of the decision of the development permit.

IMPORTANT NOTE

1. Under the Municipal Government Amendment Act, this approval may be appealed within twenty one (21) days after the day of decision being posted. Should this decision be appealed within twenty one (21) days after the Date of Decision, this permit shall not become effective until the Subdivision and Development Appeal Board has determined the appeal and the Permit may be modified or nullified thereby. Commencement of the approved Development prior to expiry of the appeal period is at your own risk.
2. An appeal shall contain statement of the grounds of appeal and shall be delivered personally or by registered mail so as to reach the Secretary of the Subdivision and Development Appeal Board, 9909 Franklin Avenue, Fort McMurray, AB T9H 2K4 within the prescribed time period of twenty one (21) days.
3. Upon delivery of Notice of Appeal, the appellant shall pay to the Regional Municipality of Wood Buffalo, where the appellant is the owner of the site, or his agent, a fee of \$1000.00.

Compliance with other legislation - A person applying for, or in possession of a valid development permit is not relieved from full responsibility for ascertaining and complying with, or carrying out development in accordance with:

- a. the requirements of the Safety Codes Act, Environment Protection and Enhancement Act and Natural Resources Conservation Board Act;
- b. the requirements of any other Federal, Provincial, or Municipal statute, regulation code or standard; and
- c. the conditions of any caveat, covenant, easement or other instrument affecting a building or land.

The Municipality is not responsible for not does the Municipality have any obligation whatsoever to determine what other legislation may apply to a development, nor monitor or enforce compliance with such legislation.

REGIONAL MUNICIPALITY OF WOOD BUFFALO
Planning & Development Department
per:

ATIA 20(1)

November 18, 2025

Elias Biolley-Villalobos
Planner II
Planning and Development Dept.

Date

Regional Municipality of Wood Buffalo
DerbeElias.BiolleyVillalobos@rmwb.ca

Applicant: markamy@woodbuffalowellnesssociety.com

Issued : November 18, 2025

Development Permit

233 BACON PLACE

Lot	Block	Plan	Section	Township	Range
24	10	852 1147	26	89	10

Group Home

Group Home (5-Bedroom Adult Recovery Home).

Discretionary Uses – Planning Commission:
Advertising Date: Thursday, November 20, 2025

Appeal period is twenty-one (21) days from the advertising date.

- This development was approved by the Development Officer and is subject to the conditions attached to this permit.
- All conditions stated on this development permit must be complied with.
- You have one year from Date of Decision to commence construction. All appropriate building/mechanical permits must be applied for and issued. In the case of a change of use within an existing structure where no significant construction or reconstruction is necessary, the applicant shall have the new use in operation within one year of the decision of the development permit.

Regional Municipality of Wood Buffalo
Planning & Development Department
per:

ATIA 20(1)

Issued : November 18, 2025

Date

Elias Biolley-Villalobos
Planner II
Planning and Development Dept.

Regional Municipality of Wood Buffalo
DerbeElias.BiolleyVillalobos@rmwb.ca

Advisory Notes:

- 1 Any signage proposed for this development shall require a separate Development Permit application and approval.
- 2 All Federal, Provincial and Municipal statutes and regulations shall be met, including the Alberta Building Code.
- 3 A Utility Installation Permit may be required from the developer and shall be obtained from Engineering Services Division prior to installing underground utilities.
- 4 A Municipal Business License may be required for this development. Please contact the Planning and Development Services front counter staff at permit.inquiries@rmwb.ca for further information and, if applicable, to obtain an application.
- 5 The Alberta Fire Code applies in and around buildings existing or being constructed on a site. Complete project plans and specifications, construction fire safety plans, and fire related activities requiring Fire Prevention Permits shall be reviewed by the Fire Authority prior to the commencement of any work related thereto. Inquiries and permit applications shall be submitted to the Fire Authority.
- 6 The property has been previously approved for the following Development Permits:
1988-142 - Single Family Dwelling.
- 7 **GROUP HOME** means a development using a dwelling unit as a facility which is authorized, licensed or certified by a provincial authority to provide room and board for foster children or for physically, mentally, socially, developmentally or behaviorally challenged persons and which may be for the personal rehabilitation of its residents either through self-help or professional care, guidance and supervision. The residential character of the development shall be maintained with the occupants living together as a single housekeeping group using shared kitchen facilities. A group home may incorporate accommodations for resident staff as an accessory use.
- 8 The Safety Code department has the following comment:
The home will require an occupancy permit and inspection, if additional work is required such as egress windows, smoke or CO alarms then additional safety codes permit will be required
- 9 The Fire Prevention department has the following comment:
01. Ensure all required permits from the RMWB Safety Codes Services department are applied for, obtained, and that the permits are satisfactorily closed out.

Note: Private dwellings (single-family homes) in use as a dwelling, that are otherwise able to maintain a Group C residential major occupancy as per the National Building Code - 2023 Alberta Edition, fall outside the scope/jurisdiction of the RMWB to enforce compliance-monitoring activities of the Safety Codes Act regarding the fire discipline. Please advise the Fire Prevention Branch if the premises is determined to require to be re-classified as a Group B, Division 4 major occupancy (home-type care occupancy).

Conditions:

- 1 This development is classified as a Group Home (5-Bedroom Adult Recovery Home) and is a Discretionary Use–Planning Commission in the R1 – Single Detached Residential District.
- 2 Construction materials, including garbage, shall be stored so as not to create a nuisance to neighbouring properties.
- 3 The building location, design and external finish shall be as indicated on the approved drawings. Any changes to the approved plans shall be submitted to the Development Officer for further approval, even if said changes are minor in nature and are consistent with the regulations applied to the site.
- 4 A minimum of five (5) on-site parking stalls shall be provided for this development. The required parking stalls shall be accessible from a public thoroughfare, and be surfaced with gravel, asphalt, concrete or a similar material.
- 5 The gravel area used for the driveway expansion must obtain an Approved Boulevard Crossing Permit prior to an Occupancy Permit.
- 6 A minimum of thirty percent (30%) of the gross lot area shall consist of soft landscaping.
- 7 The Group Home shall maintain its residential character and remain in a good state of repair, including proper upkeep and cleanliness.
- 8 The garbage and waste material shall be stored in weather-proof and animal-proof containers and shall be visually screened in a manner compatible with the design and external materials of the principal buildings on the site.
- 9 The Group Home shall be equipped with functional security cameras around the exterior of the single detached dwelling to enhance safety and security.
- 10 All on site lighting shall be located, oriented and shielded so as to restrict the unnecessary illumination of adjacent residential properties.
- 11 The existing rear Accessory Building (shed: 4.92m x 3.71m) must obtain an Approved Development Permit prior to an Occupancy Permit.
- 12 All required Safety Code permits under the Safety Code Act in the: building, mechanical, electrical, gas, plumbing and private sewage disciplines must be obtained for this development. Please contact the Regional Municipality of Wood Buffalo - Planning and Development Branch to obtain the required Safety Code permits or for information regarding these permits 780-799-8695.
- 13 The Group Home must obtain authorization, licensing, or certification from a provincial authority to operate. They must adhere strictly to all pertinent Statutes and Regulations established by the Government of Alberta within six (6) months of the issuance of this Development Permit.



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0010 037 448 8521147;10;24 072 545 401

LEGAL DESCRIPTION
PLAN 8521147
BLOCK 10
LOT 24
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: REGIONAL MUNICIPALITY OF WOOD BUFFALO (FORT MCMURRAY)

REFERENCE NUMBER: 072 031 780

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
072 545 401	11/09/2007	TRANSFER OF LAND	\$575,000	\$575,000

OWNERS

ROBERT M FLETT

AND

CHANDRA L FLETT

BOTH OF:

ATIA 20(1)

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
152 113 750	16/04/2015	MORTGAGE MORTGAGEE - SERVUS CREDIT UNION LTD. 151 KARL CLARK ROAD NW EDMONTON ALBERTA T6N1H5

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
072 545 401

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
------------------------	--------------	-------------

ORIGINAL PRINCIPAL AMOUNT: \$665,000

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 12 DAY OF AUGUST,
2025 AT 01:49 P.M.

ORDER NUMBER: 54535779

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



Wood Buffalo Wellness Society
PO Box 5748
Fort McMurray, Alberta
T9H 4V9

Phone (780) 334 – 2398
Fax (780) 334 – 2352
www.woodbuffalowellnessociety.com

July 31, 2025

To Whom It May Concern,

I/We, the undersigned, am/are the registered owner(s) of the property located at 233 Bacon Place.

I/We hereby authorize Wood Buffalo Wellness Society, to act on my/our behalf in submitting a Development Permit (DP) application for a Group Home at this property. This includes providing all required documentation, including the building plans.

This authorization is given voluntarily, and the information above is accurate to the best of my/our knowledge.

Sincerely,

Robert Flett & Chandra Flett

Signature :

ATIA 20(1)

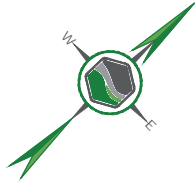
ATIA 20(1)

Date: August 7, 2025

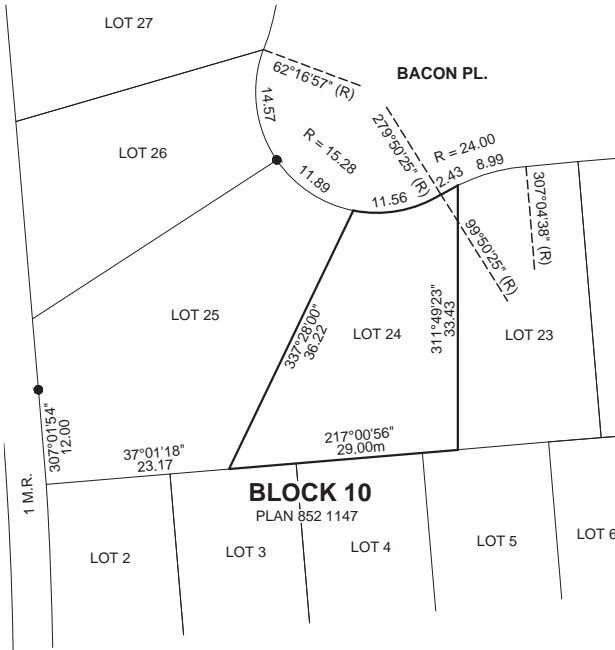
Description:

Recovery Home (sober home), The program is semi structured with a combination of required participation and exercising autonomy and independence. Residents are exposed to traditional recovery paths like mental health counselling and participation in peer support groups as well as provided opportunities for employment & training, education, volunteering, and leisure activities. 90% of the residents we work with are parents. In cases of family system disruption, we work with all parties to facilitate thoughtful family reunification plans. We work with many partner agencies to provide wraparound support with a multi-disciplinary approach to addiction and mental health recovery.

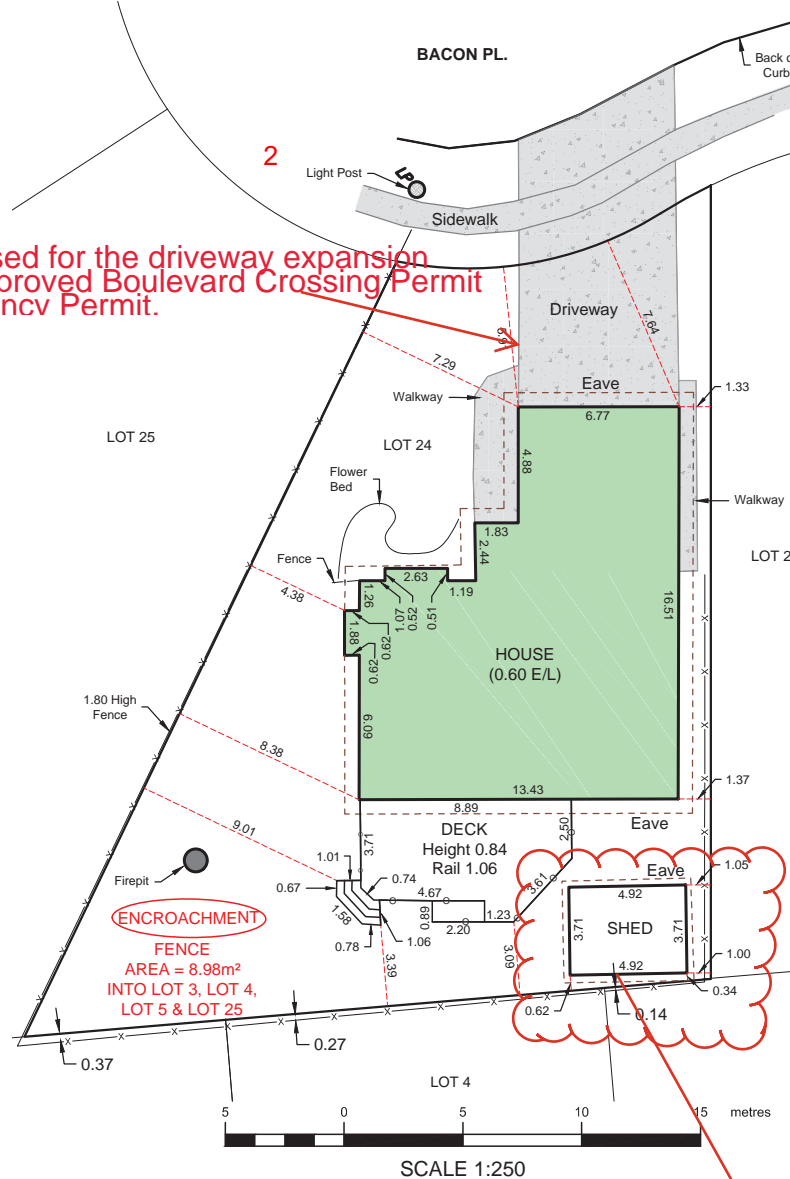
ATIA 20(1)



The gravel area used for the driveway expansion must obtain an Approved Boulevard Crossing Permit prior to an Occupancy Permit.



SCALE 1:750



SCALE 1:250

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

LOT 24 BLOCK 10 PLAN 852 1147

TIMBERLEA

FORT McMURRAY - ALBERTA

REG. NUMBER	NATURE	PARTICULARS
152 113 750	Mortgage	Servus Credit Union Ltd.
-	-	-
-	-	-
-	-	-
-	-	-

Information based on C. of T. # 072 545 401 Searched on August 11, 2025
Civic Address: (The Property) 223 Bacon Place
Distances shown are in metres and decimals thereof
Unless otherwise specified, the distances shown relate to distances from the property boundaries to the outside extremity of the siding walls only at the date of survey.
Statutory iron posts found shown thus
Eaves dimensioned from siding to fascia shown thus
Radial Bearings shown thus

Certification: I hereby certify that this Report, which includes the related survey, was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

- the plan illustrates the boundaries of the Property, the improvements as defined in Part C, Section 6.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and rights-of-way affecting the extent of the title to the Property;
- the improvements are entirely within the boundaries of the Property;
- except fence into Lot 3, Lot 4, Lot 5 & Lot 25;
- no visible encroachments exist on the Property from any improvements situated on an adjoining property;
- no visible encroachments exist on registered easements or rights-of-way affecting the extent of Property.
- the survey was completed on the 23rd Day of July, 2025
- fences are within 0.20m of the property line - except as noted herein

Purpose: This Report and related plan have been prepared for the benefit of the Property owner, subsequent owners, and any of their agents for the purpose of (a land conveyance, support of a subdivision application, a mortgage application, a submittal to the municipality for a compliance certificate, etc.). Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility-rights-of-way affecting the extent of the Property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report.
The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user.
The information shown on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements because subsequent development changes on the property will not be reflected on the report.

This document is not valid unless it bears an original signature in blue ink and LN Land Development Technologies Inc. permit stamp in red ink.
Dated at Fort McMurray, Alberta.
This 11th day of August, 2025.

ATIA 20(1)

Alberta Land Surveyor
© Geoffrey Scott, A.L.S., 2025

Client: Wood Buffalo Wellness Society

Dwg. No.: LN012358-002-RPR_0

Date: August 11, 2025

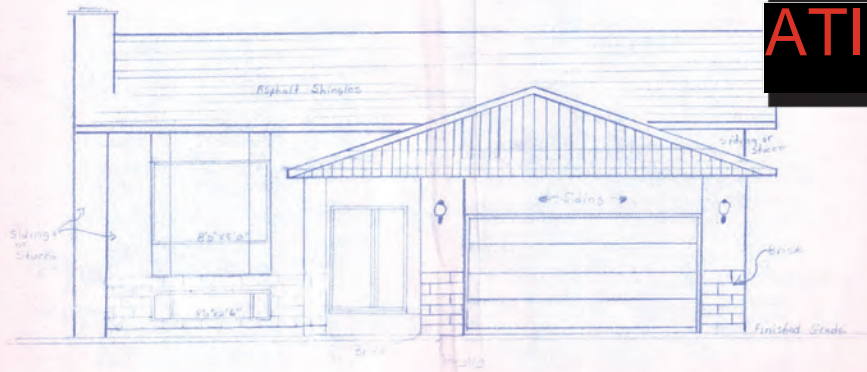
SR/DR By: J.B./K.D.

Page 1 of 1

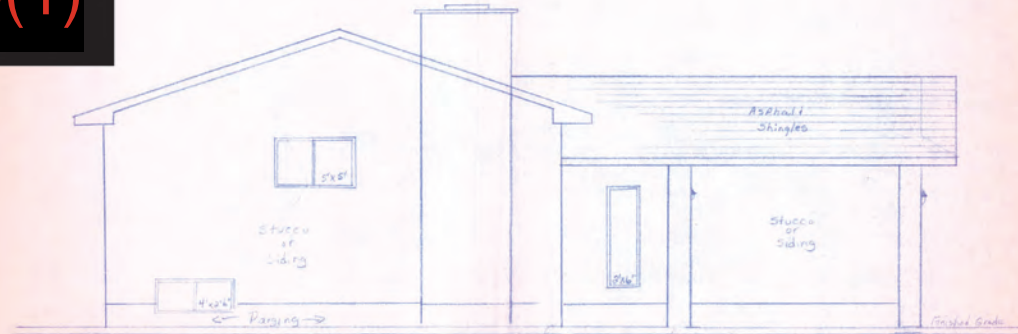


The existing rear Accessory Building (shed: 4.92m x 3.71m) must obtain an Approved Development Permit prior to an Occupancy Permit.

ATIA 20(1)



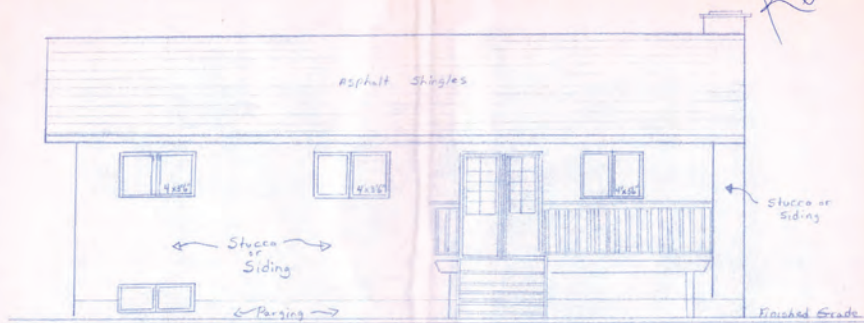
Front Elevation



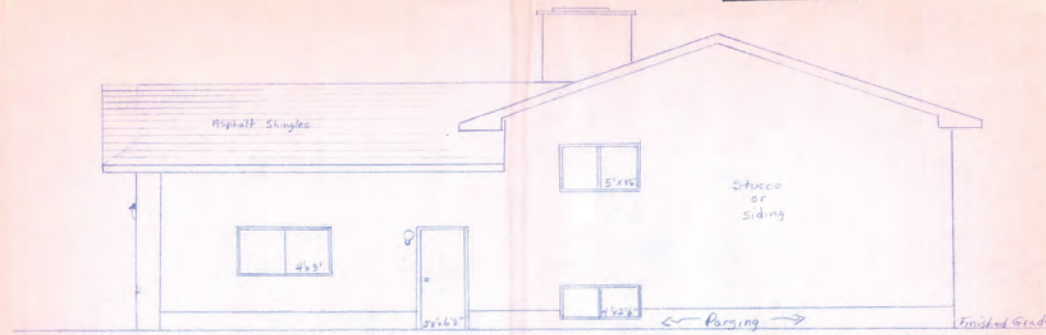
Left Elevation

CITY OF FORT McMURRAY	
EXAMINED	
Date	01/27/18
Comm	
Building Inspection Division	

Reverse Plan



Rear Elevation



Right Elevation

development application
conditional
approval

ATIA 20(1)

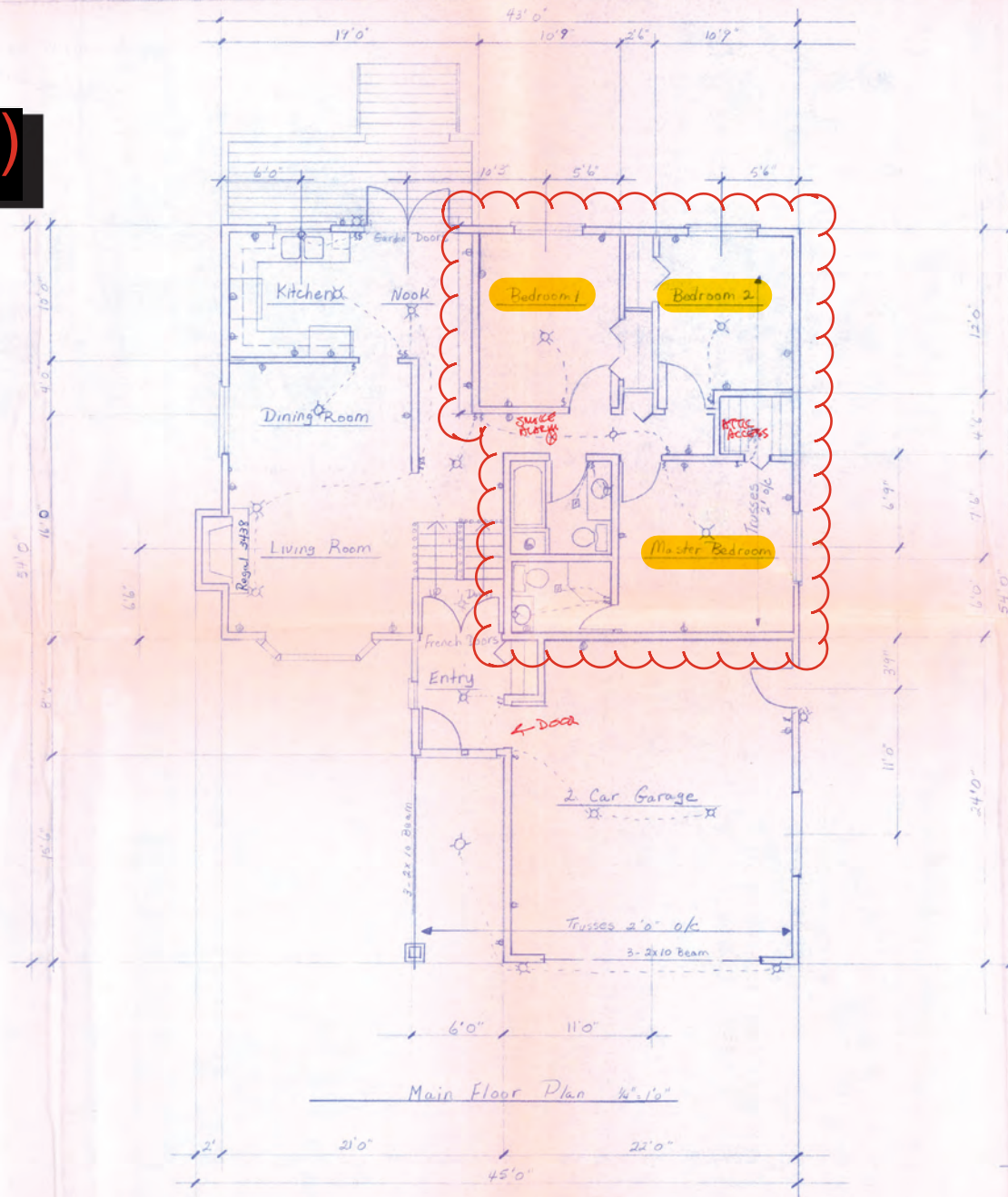
date 01/30/18

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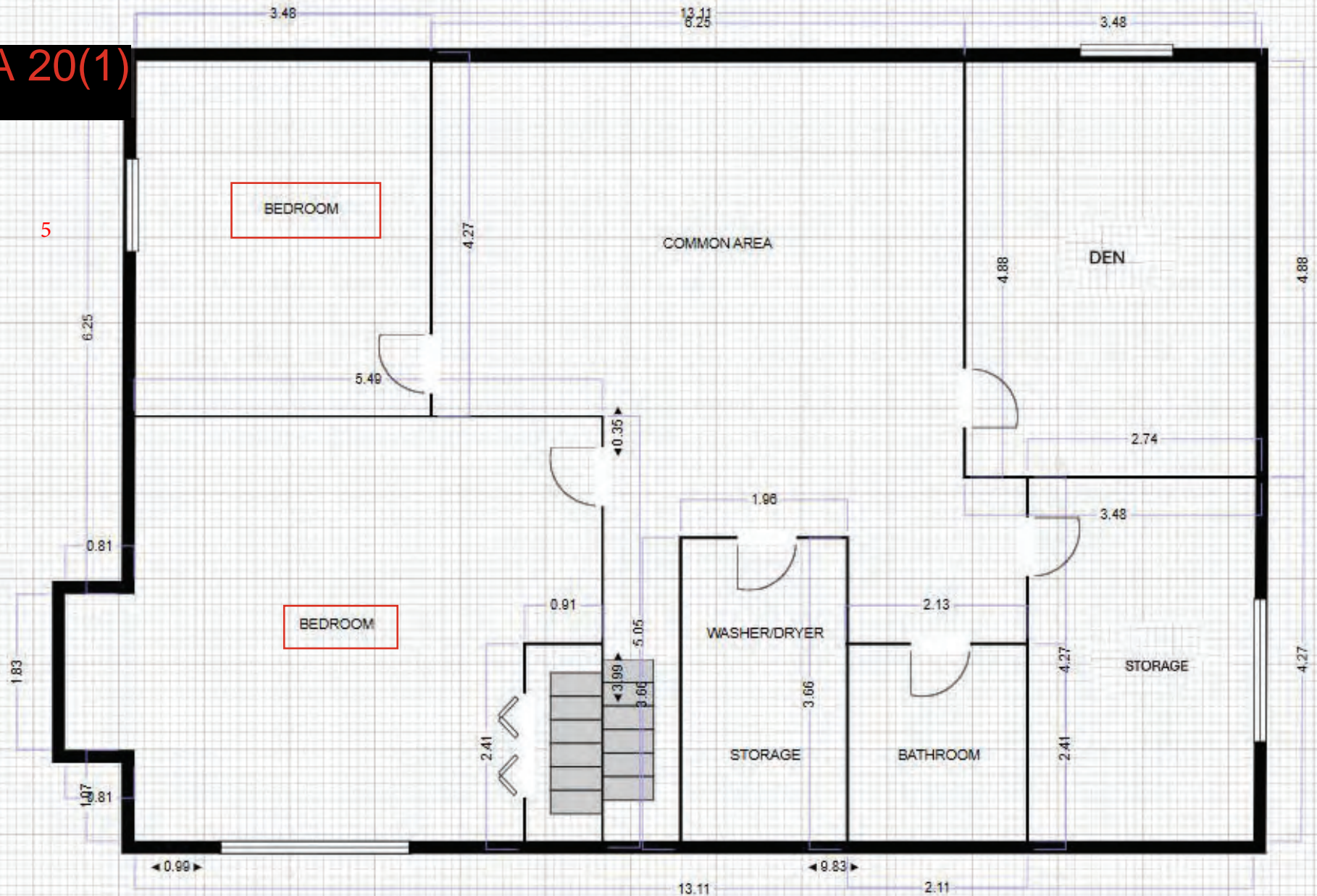
Designed & Drawn By Owner (Chad Construction Ltd.)

ATIA 20(1)

4

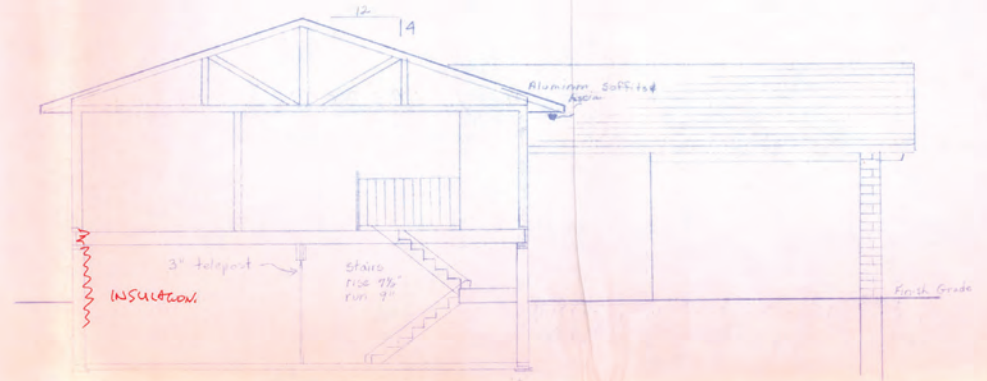
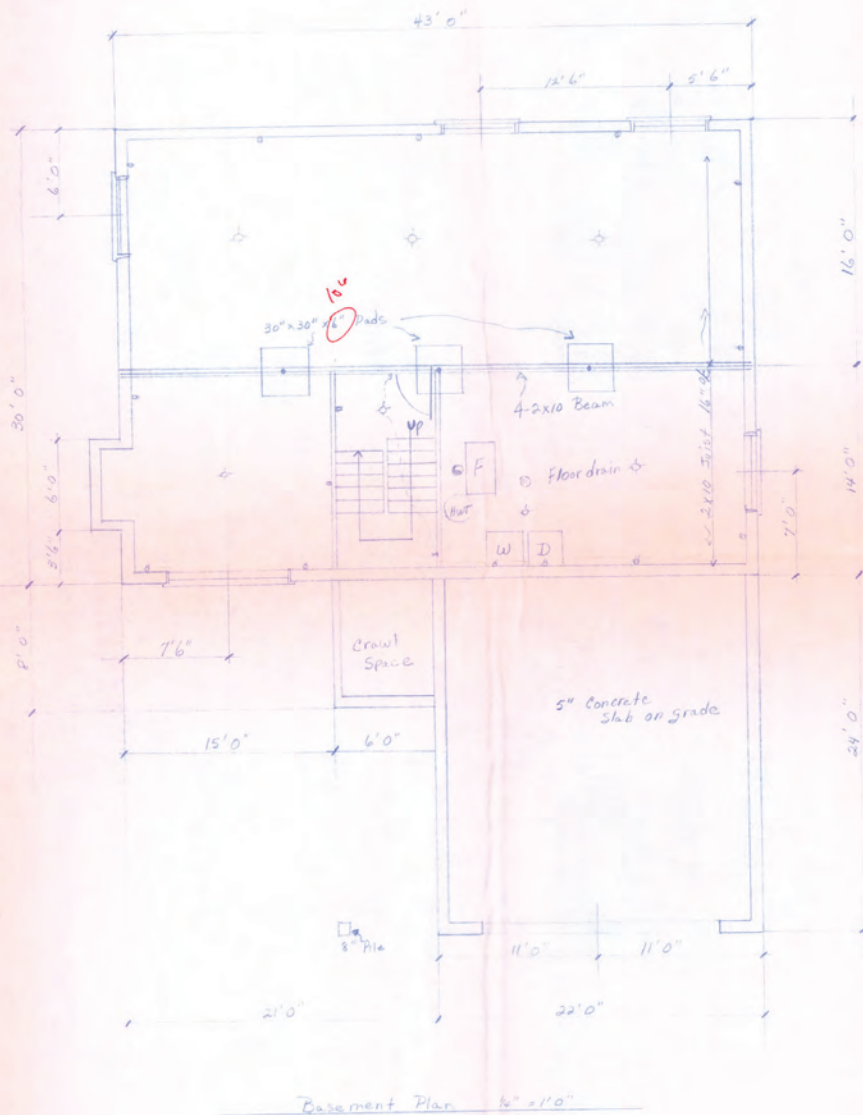


ATIA 20(1)



BASEMENT FLOOR PLAN
233 BACON PLACE
LOT 24, BLOCK 10, PLAN: 852 1147
LD: R1 - SINGLE DETACHED RESIDENTIAL
DEVELOPMENT PERMIT: 2025-DP-00319

SCALE: 1:50 (1CM = 0.5M)



Specifications

Roof Construction

#20 Asphalt Shingles
 Roof sheathing
 Approved Trusses 24" o/c
 R-10 Insulation
 4 mil Poly
 1/2" Drywall
 Painted or Textured

Exterior Walls

siding and/or Stucco
 Building Paper
 3/4" sheathing
 2x6 Studs 16" o/c
 R-10 Insulation
 4 mil Poly
 1/2" Drywall Painted

Floor Construction

Carpet and/or tile
 5/8" Ply Subflooring
 2x10 Floor Joist 16" o/c
 on 4x2x10 Beams
 on teleposts

Interior Walls

2x4 Studs 16" o/c
 1/2" Drywall with Sides
 Painted

Preserved wood Foundation (Permit)

2x6 Ply Studs 16" o/c
 R-10 Insulation and 4 mil Poly
 1/2" Drywall

Designed & Drawn By: G. J. G. J.

Auctioneering Facility	means a <u>development</u> intended for the auctioning of goods and equipment, including the temporary storage of such goods and equipment.
Automotive and Equipment Service	means a <u>development</u> used for the servicing and mechanical repair of automobiles, light trucks, utility vehicles, motorcycles, snowmobiles, and similar classes of vehicles and the sale, installation or servicing of related accessories and parts. This includes transmission shops, muffler shops, tire shops, automotive glass shops, automotive detailing shops, and upholstery shops. This use does not include the servicing of vehicles with a gross vehicle weight greater than 7,000 kg or <u>heavy equipment</u> .
Automotive Vehicle Sales or Rental	means a <u>development</u> for the retail sale or rental of new or used automobiles, <u>recreational vehicles</u> , motorcycles, snowmobiles, tent trailers, motorized boats, travel trailers or similar light vehicles or crafts, together with ancillary maintenance services and sale of parts. This use includes but is not limited to automobile dealerships, rental agencies, and motorcycle dealerships, but does not include dealerships for either the sale of trucks with a gross vehicle weight greater than 7,000 kg or <u>heavy equipment</u> .
Automotive Wrecker	means a <u>development</u> used for the storing, junking, dismantling, wrecking or crushing of three (3) or more motor vehicles, not in running condition, or parts of them, and may include the sale of parts of such vehicles.
Balcony	means a platform attached to a <u>building</u> above the <u>ground floor</u> and used as an outdoor amenity area with access only from within the <u>building</u> .
Basement	means that portion of a <u>building</u> that is located wholly or partially below grade.
Bed and Breakfast	means an <u>accessory use</u> of a <u>single detached dwelling</u> , where temporary <u>sleeping unit</u> accommodation is provided.
Bicycle Parking	means a rack, railing, locker, or other similar device designed for securing one or more bicycles.
Blank Wall	means exterior walls containing no windows or doors and lacking in <u>architectural elements</u> .
Block Area	means the area of all lands fronting on one side of a <u>street</u> between the nearest <u>streets</u> that intersect, meet or are parallel to the aforesaid <u>street</u> . The <u>block area</u> is described by all the lands bounded by <u>streets</u> , but not divided or separated in any way by <u>streets</u> .
Block Length	means the distance of the long edge of a block bounded by <u>streets</u> .
Block Perimeter	means the sum of the length of all sides of a <u>block area</u> .
Board	means the Subdivision and Development Appeal Board established by separate Bylaw.
Boarding House	means a residential <u>dwelling unit</u> , where three (3) or more <u>sleeping units</u> are provided for compensation.
Boat Fuel Services	means the sale of gasoline or petroleum products that is an <u>accessory use</u> to a boating facility.
Boxout	means a non-livable space projecting from an exterior wall beyond the foundation, including chimneys.
Building	means anything constructed or placed on, in, over or under land, but does not include a <u>road</u> or a bridge forming part of a <u>road</u> .
Building Footprint	means the area of the <u>building</u> calculated to the perimeter of the exterior foundation of the <u>building</u> .
Building Separation	means the minimum required distance between <u>building footprints</u> .

7.2.7. Residential Parking Stall Requirements

Land Use	Minimum Parking Requirement
(a) <u>Semi-detached dwelling</u> and <u>single detached dwelling</u>	2 stalls per <u>dwelling unit</u> .
(b) <u>Multi-unit dwelling</u>	2 stalls per <u>dwelling unit</u> plus 0.2 visitor parking stalls per <u>dwelling unit</u> .
(c) <u>Apartment</u> – bachelor suite or 1 bedroom	1 stall per <u>dwelling unit</u> plus 0.2 visitor parking stalls per <u>dwelling unit</u> .
(d) <u>Apartment</u> – 2 bedroom	1.5 stalls per <u>dwelling unit</u> plus 0.2 visitor parking stalls per <u>dwelling unit</u> .
(e) <u>Apartment</u> – 3 bedroom	2 stalls per <u>dwelling unit</u> plus 0.2 visitor parking stalls per <u>dwelling unit</u> .
(f) <u>Senior citizen housing</u> – independent living	0.3 stalls per <u>dwelling unit</u> plus 0.2 visitor stalls per <u>dwelling unit</u> .
(g) <u>Senior citizen housing</u> – assisted living	0.4 stalls per <u>dwelling unit</u> plus 0.2 visitor parking stalls per <u>dwelling unit</u> .
(h) <u>Mobile home</u>	2 stalls per <u>dwelling unit</u> .
(i) <u>Mobile home park</u>	2 stalls per <u>dwelling unit</u> plus 0.2 visitor parking stalls per <u>dwelling unit</u> .
(j) <u>Secondary suite</u>	1 stall per <u>sleeping unit</u> .
(k) <u>Boarding house</u>	1 stall per <u>sleeping unit</u> .
(l) <u>Home business, major</u>	1 stall per <u>dwelling unit</u> .
(m) <u>Bed and breakfast</u>	1 stall per <u>sleeping unit</u> plus 1 stall per off-site employee.
(n) <u>Live-work unit</u>	1 stall per <u>dwelling unit</u> plus 1 for every 50.0sq m of commercial use.

7.2.8. Retail Parking Stall Requirements

Land Use	Minimum Parking Requirement
Retail	
(a) <u>Retail, convenience</u>	3 stalls per every 100.0sq m of <u>net floor area</u> .
(b) <u>Retail, general</u>	1.5 stalls per every 100.0sq m of <u>net floor area</u> .
(c) <u>Liquor store</u> and <u>cannabis retail store</u>	4 stalls per every 100.0sq m of <u>net floor area</u> .
(d) <u>Service station</u>	1 stall per service bay.

(e) Supermarket	4 stalls per every 100.0sq m of <u>net floor area</u> .
<u>Shopping centres</u>	
(f) <u>Shopping centre</u>	5 stalls per every 100.0sq m of <u>net floor area</u> .

7.2.9. Social and Recreational Services Parking Stall Requirements

Land Use	Minimum Parking Requirement
(a) <u>Recreation facility, indoor</u> and <u>recreation facility, outdoor</u>	5 stalls per 100.0sq m of <u>net floor area</u> .
(b) Bingo hall	0.4 stalls per seat.
(c) <u>Religious assembly</u>	10 stalls per 100.0sq m of <u>net floor area</u> .
(d) Curling rink	8 stalls per sheet of ice plus 5 stalls for staff plus 0.1 stalls per seat for spectators.
(e) Hockey rink /arena	0.3 stalls per seat.
(f) Golf course	4 stalls per hole.
(g) Health spa	3 stalls per 100.0sq m of <u>net floor area</u> .
(h) Racquet sports facility	5 stalls per court.
(i) Theatre and cinema	0.3 stalls per seat.
(j) Indoor playground	1 stall per 100.0sq m of <u>net floor area</u> .
(k) <u>Casino</u>	1 stall per 100.0sq m of <u>net floor area</u> .
(l) <u>Detention facility</u>	5 stalls per 100.0sq m of <u>net floor area</u> .

7.2.10. Mixed-use Developments

- (a) Notwithstanding the on-site parking requirements, developments with more than one use shall provide parking stalls and loading spaces equal to the sum of the requirements for each individual use unless the applicant can demonstrate to the Development Authority that there is a complementary or overlapping use of the parking facilities which would warrant a reduction in the minimum on-site parking stalls required. The applicant shall demonstrate this reduction is warranted by submitting a parking study prepared by a professional to the satisfaction of the Development Authority.
- (b) If a proposed use in a shopping centre has a higher minimum parking requirement than the minimum parking requirements for that shopping centre under Part 7 Section 7.2.8, the shopping centre shall provide sufficient on-site parking to accommodate the additional parking stalls associated with the proposed use.

7.3. On-Site Loading Requirements

7.3.1. Loading spaces shall be designed and located to accommodate the parking and maneuvering of vehicles without obstructing roads. The Development Authority may require turning movement diagrams to ensure satisfactory maneuverability within a site.

7.3.2. On-site loading areas shall be designed to ensure the safe and convenient circulation of vehicles to and from the road.

Group home appeal denied

St. Albert Gazette

Feb 17, 2017 11:00 PM

A privately run group home for six young children will be permitted to operate in St. Albert's Pineview neighbourhood after the subdivision and development appeal board denied an appeal.

Resident Carrie Andrews presented the appeal Feb. 15 in St. Albert council chambers on behalf of neighbouring residents, citing several concerns about the proposed group home operated by Stepping Stones Group Care.

The six children are all under the age of seven.

Andrews cited concerns about parking, traffic congestion, negative impact on amenities, loss of enjoyment of their property, safety concerns for children already in the neighbourhood, and the loss of the sense of community where everyone knows their neighbours.

She summed up the concerns in her closing statement that the group home would interfere with their "quiet enjoyment" of their property.

"It's not the group home we are against, it's the location of the group home," she said. "We're against this location in the quiet cul-de-sac."

Board chair Dana Popadynetz explained to the 30 people in attendance that the board's role is to rule specifically on the development application, exclusively within the context of the city's land-use bylaw.

"The primary concern expressed tonight was traffic and safety surrounding traffic," he said. "It's our opinion that the applicant, and the owner-operator of this group home, made it very clear that the impact of traffic would be negligible, with a maximum of two staff vehicles there at any given time."

This was also the opinion of the city development officer Kathleen Short. In her written submission to the board, she noted the three-car garage with a three-car driveway would provide sufficient parking at the site, and that the traffic associated with the group home would be comparable to the traffic of any large family moving into the neighbourhood.

Group homes of up to three people are a permitted use for R1 residential in the land-use bylaw, while group homes of up to six people are considered a discretionary use, meaning neighbours have the opportunity to appeal the development permit.

With a dozen neighbours speaking in opposition to the group home, the discussion got heated. At one point Popadynetz ejected a man from the hearing after several warnings about speaking out of turn, and security subsequently escorted him from the building.

Neighbours raised a broad range of issues and concerns about the group home. Most cited the traffic concerns that Andrews raised. Some said they were worried their property values would drop, and that the character of the neighbourhood would be affected.

One man said he was worried there would be “killers,” “rapists,” and “halfway-house people” in the neighbourhood. Another man asked what benefit there would be to neighbours if the group home opens.

One neighbour said she was concerned about what kind of people the staff members working in the group home would be. In total there were a dozen neighbours speaking in opposition to the application.

Efrem Bahta, Stepping Stones director, addressed many of the concerns opponents had raised. He said there would be one or two staff members on site most of the time, with visits from a social worker twice a month, and the traffic impact would be minimal.

He explained the group home is intended to house six young siblings, all under the age of seven, who have been exposed to abuse and neglect. They are currently living in separate foster homes, but provincial ministry officials asked him around Christmas time to establish a group home so they can all grow up together.

“There are not 17, 18-year-old teenagers coming out of jail,” he said. “They’re a family. They’re young kids. They’re babies for the most part.”

Bahta said he does not deal with adults, and the concern about a halfway house is unfounded as it’s not even within his organization’s area of expertise.

He said while he understands many neighbours expressed concerns about traffic, he believes those arguments are masks for “social” concerns they might have.

“The mentality of ‘not in my backyard’ is really disheartening,” he said. “These kids need a home. They have the right to live in a community. They have a right to live in a place where they add value.”

Several people spoke in support of the group home, including two who live in Edmonton who spoke in general terms about the importance of inclusiveness in communities. Two from St. Albert spoke, including Aime Hughes who said she lives next door to the proposed site.

She identified herself as a social worker and said she wanted to emphasize that not everyone in the community was opposed to the development permit, and that she supports the children moving into her neighbourhood.

“What they need is a community,” she said. “Where else are they going to go? Who’s going to care for them?”

St. Albert MLA Marie Renaud attended the hearing, and although she didn’t address the board she said afterwards she was disappointed by the “ugliness” she heard.

But she acknowledged the lack of information that’s often available to people – she herself having gone in with the impression that the group home was for adults with disabilities – and that work needs to be done.

“What I really learned is we need to clarify this process,” she said. “Whether it’s clarifying provincial legislation or municipal bylaws, we need to really look at what is causing this to continually happen.”

In this case Renaud said she hopes that once the dust settles, neighbours will welcome the family into their community.

“I think at the end of the day most people are good, and when they see these little children and understand that what they need is love and community, that hopefully things will turn around.”

Renaud has addressed city council in the past about the issue of group homes, after a similar appeal where neighbours of a proposed group home for adults with developmental disabilities was appealed. Prior to her election, she was the director of St. Albert’s Lo-Se-Ca Foundation, which provides services for adults with disabilities.

She and current Lo-Se-Ca Foundation director Carmen Horpestad expressed concern at the council meeting Oct. 3, 2016, about what they had heard at that appeal, including some who compared living next to a group home with having a death in the family and others worried about their children’s safety and dropping property values.

Mayor Nolan Crouse brought a motion to council Dec. 5, 2016, to allow six-person group homes as permitted rather than discretionary uses under the land-use bylaw, meaning notifications would not have to go out to residents when a development permit is issued.

Other councillors, while they unanimously supported the motion to have the proposed changes come to council for debate, expressed concerns about what kind of group homes would be allowed.

The proposed changes are expected to come to council for debate before the end of August 2017.

Comments (0)

From: Elias Biolley-Villalobos <derbeelias.biolleyvillalobos@rmwb.ca>
Date: November 25, 2025 at 4:00:12 PM MST
To: Yvonne Ormson <ed@woodbuffalowellnesssociety.com>, Abul Azad <abul.azad@rmwb.ca>, Amanda Owens <amanda.owens@rmwb.ca>
Cc: Nicki Lewis <facilities@woodbuffalowellnesssociety.com>, Dennis Fraser <dennis.fraser@rmwb.ca>, **ATIA 20(1)** Jolene Wilson <markamy@woodbuffalowellnesssociety.com>
Subject: RE: Request for information/ FOIP request

Hello, Jo-Anne Packham,

Following our meeting, the Development Authority committed to undertaking a broader review of how Group Homes are regulated across some Alberta municipalities. I would like to reassure you that this work is underway, and the Development Authority remains diligent and thorough in its review.

Scope of Research

The research assignment includes the following components:

- Preparation of a background report summarizing the findings and identifying potential improvements to the Municipality's regulatory approach.
- Development of recommendations that may be incorporated into the Land Use Bylaw as general regulations, similar to those established for Boarding Houses.

Once the research is finalized, a copy of the report will be circulated to you for your review, comments, and feedback, ensuring that you remain informed and included throughout this process.

Please note that this research initiative is entirely separate from your development permit applications and does not influence or impact the Development Authority's decision-making process. The purpose of this review is to examine how other municipalities regulate Group Homes, particularly given their sometimes contentious nature and the frequency of resident concerns. The findings from this research may inform potential amendments to the new Land Use Bylaw.

Access to Information Act (ATIA)

Formerly known as FOIP, requests for additional or detailed information must be made through the formal ATIA process. A separate department within the Municipality manages this process. You may contact them directly at accessandprivacy@rmwb.ca to inquire about requirements, timelines, or submission procedures.

For further information, please visit the following link:

[Access to Information and Privacy | Regional Municipality of Wood Buffalo](#)

Thank you kindly.

Elias Biolley-Villalobos, BURPI

Planner | Development Permitting

Planning and Development Services

T: 780-793-1071

From: Jo-Anne Packham <ed@woodbuffalowellnesssociety.com>

Sent: Friday, November 21, 2025 2:02 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>; Abul Azad <Abul.Azad@rmwb.ca>; Amanda Owens <Amanda.Owens@rmwb.ca>

Cc: Nicki Lewis <facilities@woodbuffalowellnesssociety.com>; Dennis Fraser <Dennis.Fraser@rmwb.ca>; **ATIA 20(1)**; Jolene Wilson <markamy@woodbuffalowellnesssociety.com>

Subject: Request for information/ FOIP request

Importance: High

Hello Planning and Development Team,

I am following up regarding the previous commitment from Planning and Development to research how other communities have addressed Recovery Homes, in order to support the department's position on the conditions placed on our group home applications. This information was also intended to guide the development of more appropriate local legislation for such programs. As we have not received any correspondence or updates on this matter, we have initiated our own research and now require the following information from the RMWB.

I will be submitting a FOIP request within three business days for the following:

- A list of all group home and boarding house applications received for development permits by the RMWB over the past 10 years.

- Individual applications and descriptions for each group home and boarding house application, including descriptions of the applicants, received by the RMWB over the past 10 years.
- Copies of the notices to neighbours issued for each group home and boarding house application received by the RMWB over the past 10 years.
- All correspondence related to our WBWS applications.
- All correspondence related to follow-up inquiries resulting from these notices over the past 10 years.
- Any guidelines, legislation, or internal processes governing how neighbouring residents are informed of development permit applications. This includes any applicable legislation, policy documents, and internal procedures that direct how Planning and Development staff prepare correspondence and notifications.
- Any decisions, approvals, and hearing records for each corresponding application over the past 10 years.

If any of the above information is already publicly available in an easily accessible location, please advise. We understand that some information may require redaction.

Kindly inform me of the anticipated timeline for providing the information listed above.

Jo-Anne Packham, CACC

Prounouns She/Her/Hers

Executive Director

Wood Buffalo Wellness Society

Box 5748

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ed@woodbuffalowellnesssociety.com

P: (780) 334-2398

From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Sent: Thursday, October 9, 2025 6:02 PM
To: Jo-Anne Packham <ed@woodbuffalowellnesssociety.com>
Cc: Kelly Johnson <Kelly.Johnson@rmwb.ca>; Isela Contreras-Dogbe <Isela.Contreras-Dogbe@rmwb.ca>; Ermias Amayu <Ermias.Amayu@rmwb.ca>; Danielle Brown <Danielle.Brown@rmwb.ca>; Dennis Fraser <Dennis.Fraser@rmwb.ca>; Amanda Owens <Amanda.Owens@rmwb.ca>; Jolene Wilson <markamy@woodbuffalowellnesssociety.com>; Nicki Lewis <facilities@woodbuffalowellnesssociety.com>; Becca Moores <aftercare1@woodbuffalowellnesssociety.com>; Lauren Golosky <Lauren.Golosky@rmwb.ca>
Subject: Re: Sober Living House - Development Permit Applications

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Subject Property:

Civic Address: 105 Highfield Street, Fort McMurray, AB T9H 3T2

Legal Address: Lot: 19, Block: 42, Plan: 762 0092

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Jo-Anne Packham,

Thank you for hosting the Open House on Wednesday afternoon and for taking the time to address our questions.

As outlined in the Land Use Bylaw, parking requirements for Group Homes are determined by resident occupancy. Planning and Development Services is committed to ensuring that all development proposals comply with the Land Use Bylaw and reflect sound planning principles

As requested, we would be happy to arrange a meeting with Dennis Fraser, Director of IRR, late next week to further discuss this matter. Please let us know what time works best for you.

We look forward to continuing the conversation and meeting with you soon.

Thank you kindly.

Elias Biolley-Villalobos, BURPI

Planner | Planning and Development Services

T: 780-793-1017

From: Jo-Anne Packham <ed@woodbuffalowellnesssociety.com>

Sent: Tuesday, October 7, 2025 2:49 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>; Jolene Wilson <markamy@woodbuffalowellnesssociety.com>

Cc: Abul Azad <Abul.Azad@rmwb.ca>; Nicki Lewis <facilities@woodbuffalowellnesssociety.com>; Becca Moores <aftercare1@woodbuffalowellnesssociety.com>; Dennis Fraser <Dennis.Fraser@rmwb.ca>; Lauren Golosky <Lauren.Golosky@rmwb.ca>

Subject: Re: Sober Living House - Development Permit Applications

Hi Elias,

The parking is an issue. In the 13 years we have been running these programs, we have had 6 individuals with vehicles, out of 2000+. Would it not be sufficient to put in place a policy that no more than one individual with a vehicle could be accepted into each home? If we were restricted to 4 individuals in each home, it would essentially mean that we could not gather enough rental revenue to support the payment of rent and utilities for each house, and would ultimately mean that we would have to close the program. The whole purpose in applying for the development permit was so that we could legally go over the four individuals so we could make this program sustainable long term. Because parking is not a credible concern, I am feeling like this is a reasonable consideration. This is the same accommodation to the law that we received for the Tawaw program because there again, our residents do not have vehicles and if they did, they would not be our clients.

What is the requirement that has been set for boarding houses? There is an illegal boarding house on the block just a few houses away from the Bacon Place house. If we have so many illegal boarding houses in Fort McMurray with each worker driving a work truck and we are legitimately offering to restrict our parking usage to a strict acceptance process, how can this be not accommodated? This can easily be legally managed. Aside from Tawaw, There must be other precedence setting cases to consider.

I would also like to bring in this request more formally under the RMWB Reconciliation plan. I feel like to request to accommodate this consideration for an Indigenous organization who is directly addressing the Intergenerational impact of colonization within the region, all while being in a state of local emergency in addictions and mental Health for Indigenous communities, bears significant

merit and should have weight in this consideration. Could we sit with the Director of IRR to discuss this further before a decisions are made?

Please let me know. I will be touching base with IRR to brief them tomorrow.

Jo-Anne Packham, CACC

Prounouns She/Her/Hers

Executive Director

Wood Buffalo Wellness Society

Box 5748

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P: (780) 334-2398

Development Planning Report Subdivision and Development Appeal Board SDAB 2025-009

File: 2025-DP-00319

Appellant: Wood Buffalo Wellness Society

Subject: Approved Development Permit 2025-DP-00319

Legal Description: Lot 24, Block 10, Plan 852 1147

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Land Use Designation: R1 – Single Detached Residential District

Development Permit Application: September 18, 2025

Development Permit Issuance: November 18, 2025

Appeal Application Date: November 27, 2025

Introduction

1. This appeal stems from the approval of Development Permit 2025-DP-00319 for a Group Home (5-Bedroom Adult Recovery Home) at 233 Bacon Place, legally described as Lot 24, Block 10, Plan 852 1147 (the 'Subject Property') (**Attachment #1**).
2. The proposed use is within the authority of the Development Authority to approve. Therefore, it is also within the authority of the Subdivision and Development Appeal Board to consider the appeal.

Chronology

3. The application stems from an enforcement file, for operating without the appropriate Municipal approvals and permits.
4. The Development Authority contacted the subject property owner to inform them that the Group Home in operation is in contravention of the Land Use Bylaw on June 4, 2025 (**Attachment #2 – Email thread**).
5. The Development Authority hosted a pre-application meeting with the Group Home operator, Wood Buffalo Wellness Society, on June 10, 2025, to discuss the development permitting process and requirements (**Attachment #3 – Email thread**).
6. Development Permit application 2025-DP-00319 for the subject property was submitted to Planning and Development Services by the applicant, Wood Buffalo

Wellness Society on August 27, 2025.

7. On September 18, 2025, the Development Permit application was placed into circulation to be reviewed by internal departments and external agencies (**Attachment #4 – Circulation Email**). Additionally, a Notice to Adjacent property owners was mailed to residents within a 60.0m radius for their information and comments. Although informing residents prior to a decision being made is not a requirement, the Development Authority decided to do so in the interest of transparency and community engagement (**Attachment #5 – Notice to Adjacent Property Owners**).
8. The applicant, Wood Buffalo Wellness Society hosted two (2) open house sessions to address questions and concerns regarding their Group Homes applications (**Attachment #6 – Open House**). Residents or concerned citizens were invited to attend at the Unifor Building, 10019 MacDonald Avenue, Fort McMurray (Downtown) on either of the following dates:
 - October 6, 7:00 PM – 9:00 PM
 - October 8, 12:00 PM – 2:00 PM
9. On November 12, 2025, the Development Authority sent the applicant the Review Memo and circulation comments and requested that the application be revised to reduce the number of bedrooms from seven (7) to four (4), in order to reflect the number of available parking stalls on the subject property (**Attachment #7 – Review Memo and Circulation Comments**).
10. Upon discussing with the applicant, it was agreed to grant an additional parking stall to a total of five (5) parking stalls subject to an Approved Boulevard Crossing Permit. (**Attachment #8 – Email thread**). Since December 23, 2025, the Boulevard Crossing Permit 2025-BU-0026, was approved (**Attachment #16 – 2025-BU-00026**).
11. On November 18, 2025, the application was approved for a *Group Home (5-Bedroom Adult Recovery Home)* (**Attachment #9 and #10**). The approved *Development Permit* (2025-DP-00319) was advertised on the Municipality's website on November 20, 2025. Engaged residents and residents within 60.0m were notified of the decision via electronic and delivery mail (**Attachment #11 and #15**).
12. A Notice of Appeal was filed on November 27, 2025 (**Attachment #12 – Notice of Appeal**).
13. On December 23, 2025, Engineering Services Approved Boulevard Crossing Permit 2025-BU-0026 on (**Attachment #16 – 2025-BU-00026**).

Appellant Concerns

14. The applicant has indicated the following five (5) reasons for the appeal:

(1) *To date, only 6 participants out of over 2000+ in the program have owned a personal vehicle. Imposing a restriction on occupancy based on parking is inappropriate for this situation and using the boarding house parking requirement as a proxy for occupancy demand overestimates the real parking need.*

a) The Development Authority acknowledges that the anticipated parking demand associated is expected to be minimal. However, the Development Authority is bound to the parking requirements of the Land Use Bylaw and does not have the authority to vary or disregard those requirements.

(2) *The definition of a Group Home is significantly different from a Boarding House. While boarding houses are categorized as residential, they serve a fundamentally different purpose from group homes. Specifically, boarding houses are defined by and run for the purpose of providing lodging for compensation, they service independent, short-term and transitional tenants and assume higher vehicle ownership and turnover.*

Group homes, by contrast, provide structured, supportive housing that serve individuals with disabilities protected under the Alberta Human Rights Act. They have very low vehicle ownership rates and operate as a single household environment, not a lodging business. They are also licensed and regulated by a provincial authority.

The fact that both appear under “residential uses” does not mean they generate the same parking demand or should be regulated in the same way. Given this distinction, we feel that the use of the Boarding House parking bylaw to limit occupancy is unnecessarily restrictive and inappropriate in this case.

b) The Development Authority may determine the use of similar character and purpose in evaluating and issuing a development permit. Although the *Group Home* and *Boarding House* uses are classified as residential, the proposed development will operate with residential intensity and land-use impacts comparable to a boarding house. No personal rehabilitation services or professional care will be provided on the subject property, as all services occur off-site.

(3) *Under Alberta’s Municipal Government Act (MGA), development conditions (like parking) should be relevant, reasonable, and tied to real impacts. There is no evidence that sober living homes generate the parking demand assumed for boarding houses. Using a parking restriction designed for a different residential use to prevent a group home from housing the appropriate number of residents is unreasonable, not connected to the actual parking impact and not related to genuine land-use concerns. Instead, it functions as an indirect method of reducing occupancy that is inconsistent with the intent of the MGA.*

c) The Development Authority finds that requiring five (5) parking stalls per rentable bedroom is not inconsistent with the MGA. The intent of the MGA is to manage and regulate land use, ensuring orderly development in the greater public interest.

- (4) *People living in sober living homes are recognized as having disabilities under the Alberta Human Rights Act (addiction is a protected disability). Municipalities have a legal obligation to avoid decisions that create discriminatory barriers. Restricting the number of residents based on an inflated parking standard has a disproportionate negative impact on persons with disabilities by denying them equal access to community-based housing and conflicts with the principle of reasonable accommodation. Municipalities must not apply bylaws in ways that effectively exclude disability-related housing from residential neighborhoods.*
- d) The Development Authority finds that the Approved Development Permit 2025-DP-00319 regulates the use of subject property rather than the characteristics of the occupants. The approved permit authorizes five (5) bedrooms and does not impose conditions that target or distinguish persons with disabilities.
- (5) *As the Wood Buffalo Wellness Society is a not-for-profit organization, having to significantly reduce the occupancy of our homes to comply with this imposed parking bylaw directly undermines the financial and operational viability of the program. Lowering the allowable number of residents can force programs like ours into a position where we can no longer meet minimum operating thresholds, leading to reduced services, financial instability, or closure. The consequences of losing these programs extend far beyond the organization itself. Community-based non-profit housing plays a critical role in public health, social stability, and neighborhood safety. When these services become unavailable, individuals in need are displaced into unstable or unsafe environments, emergency shelters, hospitals, or the criminal justice system. These systems that are already strained and far more costly for taxpayers. As we are currently in a state of local emergency in addictions and mental health for Indigenous communities, the loss of the Sakihitowin program would have a negative impact on our community as a whole.*
- e) The Development Authority acknowledges that the proposed development contributes to broader community well-being objectives. However, concerns raised about financial and operational viability are not a land use planning matter that is taken into consideration when reviewing a development permit application for the proposed use.

Discussion

15. The Subject Property is located in the Timberlea neighbourhood, within proximity to the main intersection, of Confederation Way and Brett Drive. The subject property is zoned R1 – Single Detached Residential District (the “District”), which is intended to provide low density residential development.

As such, the District designates higher volume developments such as *Basement Suites, Boarding Houses, Child Care Facilities, Educational Service Facility, and Group Homes*, as discretionary uses.

16. The Subject Property lies within the Urban Service Area and is situated within an Established Neighbourhood and Residential area under the Municipal Development Plan (Bylaw No. 24/015). (**Attachment #13 – MDP Map 8**).

17. The Subject Property is within proximity to two (2) public transit bus stops, which are the following: (**Attachment #7 – Review Memo and Circulation Comments; pages 4-5**).

- a) Route 5 Timberlea-Bear Ridge – Bus stop # 07052

b) Route 6 Thickwood-Timberlea – Bus stop # 07041

18. The Subject Property is also located within proximity to three (3) Educational Service Facilities, which are the following: **(Attachment #7 – Review Memo and Circulation Comments; pages 4).**

- a) St. Anne School elementary school
- b) Timberlea Public elementary school;
- c) Fort McMurray Christian school.

19. The following uses are defined as:

a) Land Use Bylaw No. 99/059

GROUP HOME means a development using a dwelling unit as a facility which is authorized, licensed or certified by a provincial authority to provide room and board for foster children or for physically, mentally, socially, developmentally or behaviorally challenged persons and which may be for the personal rehabilitation of its residents either through self-help or professional care, guidance and supervision. The residential character of the development shall be maintained with the occupants living together as a single housekeeping group using shared kitchen facilities. A group home may incorporate accommodations for resident staff as an accessory use.

b) Land Use Bylaw Amendment No. 18/003

BOARDING HOUSE means a single detached dwelling in which three (3) or more persons, who do not own the single detached dwelling:

- (a) Pay or are obligated to pay for the right to live in the single detached dwelling or portion of the single detached dwelling; or
- (b) Receive any amount of compensation or benefit from a third party, including consideration paid directly to the owner or primary occupant of the single detached dwelling, for their right to live in the single detached dwelling or portion of the single detached dwelling.

c) Municipal Development Plan (MDP) Bylaw No. 24/015

Established Neighbourhood refers to developed residential lands including small to medium scale commercial, recreational, and institutional areas.

d) Municipal Development Plan (MDP) Bylaw No. 24/015

Established Residential areas are the currently existing built-out residential areas throughout the Municipality. They contain a mix of housing, institutions, parks, and businesses.

Rationale:

20. The development permit application was approved as it aligns with the intent of the R1 – Single Detached Residential District (the “District”) and complies with the Land Use Bylaw. Furthermore, formal complaints have been received which include some land use concerns such as the character of the neighbourhood and lack of consultation with residents **(Attachment #11 and #15)**.

21. A resident-organized petition opposing the proposed Group Home was submitted, containing twenty-two (22) signatures from residents of Bacon Place. The petition cited land use concerns, including parking impacts, neighbourhood character, and a perceived lack of consultation **(Attachment #14 – Residents Petition)**. The petition also requested that the notification radius be expanded beyond the standard 60.0 m to include additional residents.

As previously noted, parking impacts associated with the subject property are expected to be very minimal and are not considered a concern.

22. Following the issuance of notice to adjacent property owners, the Development Authority received the following public engagement from residents:

- a) Four (4) phone calls.
- b) Fifteen (15) electronic mails.

(Attachment #15 – Engagement with Residents)

23. To address concerns raised by residents and minimize potential negative impacts, specific development conditions have been put in place **(Attachment # 10 – Approved Development Permit 2025-DP-00319)**.

Condition #2

Construction materials, including garbage, shall be stored so as not to create a nuisance to neighbouring properties.

Condition #7

The Group Home shall maintain its residential character and remain in a good state of repair, including proper upkeep and cleanliness.

Condition #9

The Group Home shall be equipped with functional security cameras around the exterior of the single detached dwelling to enhance safety and security.

Condition #13

The Group Home must obtain authorization, licensing, or certification from a provincial authority to operate. They must adhere strictly to all pertinent Statutes and Regulations established by the Government of Alberta within six (6) months of the issuance of this Development Permit.

24. The Development Authority is of the opinion that the proposed development will not negatively impact nearby residential areas or adjacent properties, given the provision of five (5) parking stalls per rentable bedroom.

25. The Development Authority confirmed that the neighbourhood contains at least two (2) legal home businesses operating under valid business licences, which contributes to the overall intensification of the District.

26. The Subdivision and Development Appeal Board has the authority to grant a variance on a discretionary use, with or without conditions, even though the proposed development does not comply with the Land Use Bylaw, if in its opinion, the following factors are met:

- a) The proposed development would not,
 - i. Unduly interfere with the amenities of the neighbourhood, or
 - ii. Materially interfere with or affect the use, enjoyment or value of the neighbouring parcels of land; and
- b) The proposed development conforms with the use prescribed for that land of building in the Land Use Bylaw.

(*Land Use Bylaw* at section 28 and section 687(3)(d) of the *Municipal Government Act* RSA 200 ch- M-26 [the *MGA*]).

Recommendation:

27. The Development Authority recommends the Subdivision and Development Appeal Board uphold the decision of the Planner/ Development Officer.

Attachments:

- 1) Subject Property Map
- 2) June 4, 2025 – Email thread
- 3) June 10, 2025 – Email thread
- 4) September 18, 2025 – Circulation email
- 5) September 19, 2025 – Notice to Adjacent Property Owners
- 6) Open House
- 7) Review Memo and Circulation Comments
- 8) November 18, 2025 – Email thread
- 9) Notice to Applicant
- 10) Approved Development Permit 2025-DP-00319
- 11) November 18, 2025 – Notice to Adjacent Property Owners
- 12) Notice of Appeal
- 13) MDP Map 8
- 14) Residents Petition
- 15) Engagement with Residents
- 16) 2025-BU-00026

REPORT TO SUBDIVISION AND DEVELOPMENT APPEAL BOARD
FILE #

Prepared By:

ATIA 20(1)

Elias Biolley-Villalobos
Planner/ Development Officer
Planning and Development Services

Date: January 7, 2026

Reviewed and
Supported By:

ATIA 20(1)

Lee-Anne Kumka
Supervisor
Planning and Development Services

Date: January 7, 2026

Presented to:

Subdivision and Development Appeal Board



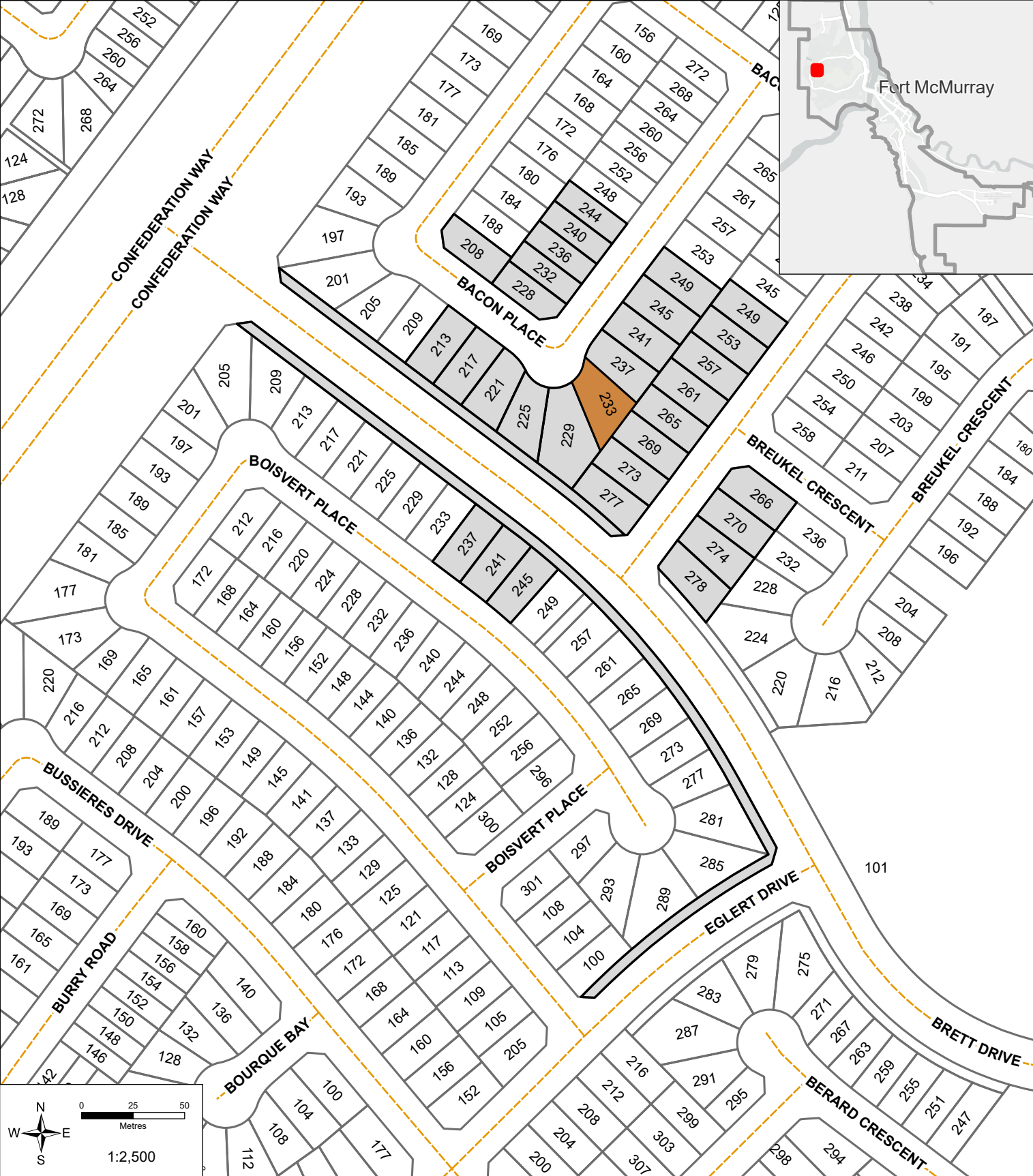
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SUBJECT AREA MAP

Notification



- Survey Parcels
- Adjacent Properties within 60 m
- Subject Area

233 BACON PLACE
Lot 24, Block 10, Plan 8521147

From: [Jo-Anne Packham](#)
To: [Elias Biolley-Villalobos](#); [Becca Moores](#); [Jolene Wilson](#)
Cc: [ATIA 20\(1\)](#)
Subject: Re: Sober Living House - 233 Bacon Place
Date: Wednesday, June 4, 2025 1:42:23 PM
Attachments: [image001.jpg](#)
[image002.png](#)
[Outlook-wbws logo .png](#)
[Outlook-aexmtt1c.png](#)

Hi Elias,

Thank you for reaching out as I just noticed that my email to you bounced back as well. I can move the meeting to Tuesday at 10. I will send you a meeting request for this. If for some reason, it bounces back again, I will give you a call.

Thank you Chandra, for forwarding this along.

Jo-Anne Packham, CACC
Prounouns She/Her/Hers
Executive Director
Wood Buffalo Wellness Society
Box 5748
Fort McMurray | ᓂᓐᑕᓴᓐᓂᓐ | Nistawâyâw | Elídlì Kué
T9H 4V9
ed@woodbuffalowellnesssociety.com
P: (780) 334-2398
wbws logo 2019



www.woodbuffalowellnesssociety.com

“We acknowledge that we are located in Nistawoyou, on Treaty 8 territory, traditional home and gathering place of the Cree, Dene and Metis. We honour our journey as Indigenous people and remain committed to our work in addressing the impacts of colonization including addiction and houselessness, felt by all of our relations and our communities today”



From: Chandra
Sent: Wednesday, June 4, 2025 10:55 AM

To: Jo-Anne Packham ; Elias Biolley-Villalobos

Subject: Fwd: Sober Living House - 233 Bacon Place

Her name is Jo-anne Packham Executive Director Wood Buffalo Wellness So with and I've copied her to this email and her phone number is 7808387729
Sent from my iPhone

Begin forwarded message:

From: Elias Biolley-Villalobos

Date: June 4, 2025 at 9:31:14 AM MDT

To: ATIA 20(1)

Subject: RE: Sober Living House - 233 Bacon Place

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Use- Planning Commission: Group Home and Boarding House

Owner: ROBERT M FLETT; and CHANDRA L FLETT

Hello Chandra,

Following yesterday's brief phone conversation with your property manager—whose name I regretfully cannot recall—we had initially confirmed a meeting for Monday.

Unfortunately, I am no longer available that day.

I am available instead on **Tuesday, June 10, 2025, at 10:00 AM** to meet and discuss.

Please let me know if this time works for you.

Elias Biolley-Villalobos, BURPI

Planner | Community Development Planning

T: 780-793-1017 M: DerbeElias.BiolleyVillalobos@rmwb.ca | rmwb.ca

From: Elias Biolley-Villalobos

Sent: Monday, June 2, 2025 2:34 PM

To: ATIA 20(1)

Cc: Curtis Kachale

Subject: Sober Living House - 233 Bacon Place

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Owner: ROBERT M FLETT; and CHANDRA L FLETT

Hello, Chandra and Robert,

Following our recent telephone conversation, please be advised that a complaint has been received, and a review of the property file has been completed. The findings are summarized below:

No documentation on file indicates that the property has been approved for use as a

From: [Elias Biolley-Villalobos](#)
To: [Abul Azad](#)
Subject: FW: Sober Living House - 233 Bacon Place
Date: Wednesday, August 27, 2025 2:19:00 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.jpg](#)
[First-Use-or-Change-of-Use-Checklist.pdf](#)

FYI

From: Elias Biolley-Villalobos
Sent: Tuesday, June 10, 2025 1:11 PM
To: Jo-Anne Packham
Cc: Jesse Tjepkema ; Becca Moores ; Jolene Wilson
Subject: RE: Sober Living House - 233 Bacon Place

1. Property

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8
 Legal Address: Lot: 24, Block: 10, Plan: 852 1147
 Land District: R1 – Single Detached Residential District
 Owner: ROBERT M FLETT; and CHANDRA L FLETT

2. Property

ATIA 20(1)

Hello, Jo-Anne,

Following our brief in-person meeting this morning, I am writing to summarize the key points we discussed:

1. The Planning and Development Authority is responsible for issuing permits related to land use and development within the Regional Municipality of Wood Buffalo (RMWB).
2. Based on the current use of your properties, a Development Permit is required for either a Boarding House or a Group Home designation.
3. **GROUP HOME** means a development using a dwelling unit as a facility which is authorized, licensed or certified by a provincial authority to provide room and board for foster children or for physically, mentally, socially, developmentally or behaviorally challenged persons and which may be for the personal rehabilitation of its residents either through self-help or professional care, guidance and supervision. The residential character of the development shall be maintained with the occupants living together as a single housekeeping group using shared kitchen facilities. A group home may incorporate accommodations for resident staff as an accessory use.
4. As of **May 26, 2025**, the **Wood Buffalo Wellness Society** operates **four (4) houses**—two for males and two for females.
5. The organization was previously affiliated with the Ross Residence.
6. The current use of these properties aligns more closely with the definition of a **Group Home**, as residents are undergoing addiction recovery, and counseling services are provided off-site.
7. The organization is also the applicant for **Development Permit 2023-DP-00177**, submitted for an **Institutional and Civic (Assisted Living Facility)** located at ATIA 20(1)

8. **INSTITUTIONAL AND CIVIC** means a Development for a public purpose and, may include but is not limited to such uses as schools, places of worship, community centres, health care facilities, public utilities and government Buildings. INSTITUTIONAL AND CIVIC includes, but is not limited to: CHILD CARE FACILITY; COMMERCIAL SCHOOL; COMMUNITY SERVICE FACILITY; EDUCATIONAL SERVICE FACILITY; ESSENTIAL PUBLIC SERVICE; **GROUP HOME**; HEALTH SERVICE FACILITY; HOSPITAL; PUBLIC USE; PUBLIC FACILITY; RELIGIOUS ASSEMBLY; and VISITING STUDENTS SUPERVISED HOUSING UNIT as defined in Section 10 of this Bylaw.
9. You mentioned the potential acquisition of a hotel located at **8538 Franklin Avenue**, within the downtown **FRA1 district**, for conversion into a Group Home. This would be a **permitted use** in that district.
10. Establishing a **Group Home** in a **residential district** is classified as a **discretionary use**, and the permitting process involves several steps:
 11. The permitting process involves submitting the necessary documentation, followed by a review and circulation period of no more than two weeks. If the permit is approved, it will be advertised for 21 days both online and via mail to properties within a 60.0-meter radius of the subject property because it's a discretionary use.
 12. In the event that neighbouring property owner(s) appeal the decision, the final determination on your application will rest with the Subdivision and Development Appeal Board (SDAB).
13. Please ensure that a **Development Permit application** for a **Group Home** is submitted for the four (4) residential properties **no later than July 8, 2025**. Failure to submit the application by this date may result in the issuance of an enforcement notice.

Next Steps:

1. **Submit a Development Permit application for a First Use or Change of Use**
 - Group Home
 - Letter of Authorization (LOA) from legal property owners on Title.
2. **Safety Codes Permits (if applicable: Building, Electrical, Plumbing)**
 - Apply through our Safety Codes department.
 - Chief Building Safety Codes Officer: Greg Wolf greg.wolf@rmwb.ca
 - Front Counter contact: permit.inquiries@rmwb.ca
3. **Fire Inspection**
 - Required prior to operating.
 - Schedule by calling: **780-792-5519**

Thank you kindly,



Elias Biolley-Villalobos

Planner

Planning & Development

T: 780-793-1017 | rmwb.ca

Office: 9909 Franklin Avenue, Fort McMurray, AB, T9K 2K4

Fort McMurray | ᓄᓐᑕᓐᓴᓐᓴᓐ | Nistawâyâw | Etídlj Kué

Alberta T9H 2K4

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How did we do? Provide anonymous feedback on your experience with RMWB Planning

& Development Services to help us improve our services. [Planning & Development Services Customer Satisfaction Survey | Participate Wood Buffalo \(rmwb.ca\)](#)

From: Elias Biolley-Villalobos

Sent: Thursday, June 5, 2025 1:19 PM

To: Jo-Anne Packham <ed@woodbuffalowellnesssociety.com>; Becca Moores

<aftercare1@woodbuffalowellnesssociety.com>; Jolene Wilson

<markamy@woodbuffalowellnesssociety.com>

Cc: Jesse Tjepkema <Jesse.Tjepkema@rmwb.ca>

Subject: RE: Sober Living House - 233 Bacon Place

Sounds good. See you then.

Elias Biolley-Villalobos, BURPI

Planner | Community Development Planning

T: 780-793-1017 **M:** DerbeElias.BiolleyVillalobos@rmwb.ca | rmwb.ca

From: Jo-Anne Packham <ed@woodbuffalowellnesssociety.com>

Sent: Wednesday, June 4, 2025 7:57 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>; Becca Moores

<aftercare1@woodbuffalowellnesssociety.com>; Jolene Wilson

<markamy@woodbuffalowellnesssociety.com>

Cc: Jesse Tjepkema <Jesse.Tjepkema@rmwb.ca>

Subject: Re: Sober Living House - 233 Bacon Place

Sounds good, see you then.

Get [Outlook for Android](#)

From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Sent: Wednesday, June 4, 2025 1:57:24 PM

To: Jo-Anne Packham <ed@woodbuffalowellnesssociety.com>; Becca Moores

<aftercare1@woodbuffalowellnesssociety.com>; Jolene Wilson

<markamy@woodbuffalowellnesssociety.com>

Cc: Jesse Tjepkema <Jesse.Tjepkema@rmwb.ca>

Subject: RE: Sober Living House - 233 Bacon Place

Hi Jo-Anne,

The office is located at 9909 Franklin Avenue. Please proceed to the Planning and Development front counter and ask to speak with Elias.

Cheers,



Elias Biolley-Villalobos

Planner

Planning & Development

T: 780-793-1017 | rmwb.ca

Office: 9909 Franklin Avenue, Fort McMurray, AB, T9K 2K4

Fort McMurray | ᓄᓐᑕᓐᓴᓐᓴᓐ | Nistawâyâw | Etídlj Kué
Alberta T9H 2K4

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How did we do? Provide anonymous feedback on your experience with RMWB Planning & Development Services to help us improve our services. [Planning & Development Services Customer Satisfaction Survey | Participate Wood Buffalo \(rmwb.ca\)](#)

From: [Elias Biolley-Villalobos](#)
Bcc: [RCMP](#); [Bylaw Services](#); [Curtis Kachale](#); [Alberta Health \(NorthZone.EnvironmentalHealth@albertahealthservices.ca\)](#); [abn.circulation@telus.com](#); [constructionftm@sjrb.ca](#); [Gas Land Department](#); [ATCO Gas](#); [RES Fire Prevention Branch](#); [ATCO Electric](#); [Assessment Taxation](#); [UGSResponse](#); [Abul Azad](#)
Subject: CIRCULATION – 2025-DP-00319 – Sober Living House
Date: Thursday, September 18, 2025 4:32:00 PM
Attachments: [Drawings 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

Planning and Development Services has received an application for a Group Home at the subject property in Fort McMurray. The applicant is Wood Buffalo Wellness Society, and the Group Home residents are adult males eighteen plus (+18). In addition, the maximum occupancy of the Group Home is seven (7) residents, with one resident per bedroom.

The drawings and documents are attached for your review.

Your feedback on this matter is requested by **Friday, October 3, 2025, at 4:30 PM.**

Please do not hesitate to contact me at 780-793-1017 or DerbeElias.BiolleyVillalobos@rmwb.ca if you have any questions or concerns.

If no comments are received by the due date, it will be assumed that there are no concerns regarding this application, and approval will be considered.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
 Planner | Planning and Development Services
 T: 780-793-1017



Date of Posting:
September 19, 2025

NOTICE TO ADJACENT PROPERTY OWNERS

Development Permit Application 2025-DP-00319 for a Group Home

Civic address

233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Land Description

Lot: 24, Block: 10, Plan: 852 1147

You are notified of this development application as a resident within a 60-meter radius of the subject property. Planning and Development Services has received an application for a Group Home at the subject property in Fort McMurray. The applicant is Wood Buffalo Wellness Society, and the Group Home residents are adult males eighteen plus (+18). In addition, the maximum occupancy of the Group Home is seven (7) residents, with one resident per bedroom.

Your feedback on this matter is requested by **Friday, October 3, 2025, at 4:30 PM.**

Please do not hesitate to contact me at 780-793-1017 or DerbeElias.BiolleyVillalobos@rmwb.ca if you have any questions or concerns.

If no comments are received by the due date, it will be assumed that there are no concerns regarding this application, and approval will be considered.

Sincerely,

Elias Biolley-Villalobos
Planner | Development Officer
DerbeElias.BiolleyVillalobos@rmwb.ca
T 780-793-1017
Development Planning Branch
Planning & Development Services



From: ATIA 20(1)
To: [Elias Biolley-Villalobos](#)
Cc: [Abul Azad](#); ATIA 20(1)
Subject: RE: Notification Letter – 2025-DP-00319 – Sober Living House
Date: Friday, September 19, 2025 9:25:06 AM

Good morning,

Both mail-outs are done.

Regards,

Alexis Digma

Administrative Assistant | Land Administration

Planning and Development

T: 587-258-4731 | rmwb.ca

From: Elias Biolley-Villalobos

Sent: Thursday, September 18, 2025 5:07 PM

To: Alexis Digma

Cc: Abul Azad ; Johanna Tobin

Subject: Notification Letter – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello Alexis,

Please see the attached notice to be delivered to all properties within 60 meters of the subject property. It is informing residents of a Group Home development permit application.

Thank you kindly.

Elias Biolley-Villalobos, BURPI

Planner | Planning and Development Services

T: 780-793-1017



LET'S TALK

DO YOU HAVE QUESTIONS
ABOUT SÂKIHITOWIN
RECOVERY HOME?

WE HAVE ANSWERS.

October 6th 7:00pm-9:00pm

October 8th 12:00pm-2:00pm

Unifor Building
10019 MacDonald Ave

From: [Jolene Wilson](#)
To: [Elias Biolley-Villalobos](#)
Subject: Re: Notification – 2025-DP-00319 – Sober Living House
Date: Thursday, October 2, 2025 8:59:43 AM
Attachments: [image002.jpg](#)
[image003.png](#)
[Outlook-mej5qkyb](#)

Hey Elias,

Yes, it is open for all the houses, and you are more than welcome to attend

Jolene Wilson

Pronouns She/Her/Hers

Administration Manager

Wood Buffalo Wellness Society

C: (780) 713-9794

Box 5748

Fort McMurray | Nistawâyâw | Elídlí Kue´

T9H 4V9

markamy@woodbuffalowellnesssociety.com



www.woodbuffalowellnesssociety.com

“We acknowledge that we are located on Treaty 8 territory, traditional home and gathering place of the Cree, Dene and Metis. We humbly respect the histories, languages, and cultures of all Indigenous Peoples of our region and beyond, whose presence continues to enrich our vibrant community.”

From: Elias Biolley-Villalobos

Sent: Wednesday, October 1, 2025 5:11 PM

To: Jolene Wilson

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Jolene,

Is the open for all four (4) group homes? Am I allowed to attend?

Cheers,

Elias Biolley-Villalobos, BURPI

Planner | Planning and Development Services

T: 780-793-1017

From: Jolene Wilson

Sent: Wednesday, October 1, 2025 4:58 PM

To: Elias Biolley-Villalobos ; jason walsh

Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Hi Jason,

Thank you for your email. The house is now ran by Wood Buffalo Wellness Society and is not affiliated with Ross Residence or Brian Ross. As an agency, we do have more programming and supports to offer to individuals residing in the house.

I can completely understand your concerns, since emails can get convoluted and easily to interpret wrong we are hosting two open houses for neighbours to come and learn more about the program and what we do as an agency. We want to be good neighbours and thrive for open communication.

Please join us at the Unifor Building (Downtown) on October 6th (7pm-9pm) or October 8th (12pm-2pm) to chat about your questions, we would love the opportunity to chat in person.

Thanks Jason, I look forward to chatting with you.

Jolene Wilson

Pronouns She/Her/Hers

Administration Manager

Wood Buffalo Wellness Society

C: (780) 713-9794

Box 5748

Fort McMurray | Nistawâyâw | Elídlí Kue ´

T9H 4V9

markamy@woodbuffalowellnesssociety.com



www.woodbuffalowellnesssociety.com

"We acknowledge that we are located on Treaty 8 territory, traditional home and gathering place of the Cree, Dene and Metis. We humbly respect the histories, languages, and cultures of all Indigenous Peoples of our region and beyond, whose presence continues to enrich our vibrant community."

From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Sent: Wednesday, October 1, 2025 3:52 PM

To: jason walsh <**ATIA 20(1)**>

Cc: Jolene Wilson <markamy@woodbuffalowellnesssociety.com>

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Jason Walsh,

Thank you kindly.



Planning & Development Services

Fort McMurray | ᓂᕐᑕᐱᖅ | Nistawâyâw | Ełıdłı Kué

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Page 73

on the corner of the garage as I was doing lawn maintenance. I also in the past found empty alcohol bottles in my back yard that were thrown over the fence.

- I had to contact Brian Ross multiple times about garbage, welders, scrap metal in the front and side of the house.
- I also recorded a very loud disturbance in the driveway of 233 Bacon place one evening.
- In the past at times traffic coming and going to the house was a lot. Myself and neighbours were concerned. 7 residents means many vehicles and many friends.
- I have noticed also that some of the residents were frequently going back and forth to a house on Bacon place that was also known as a problem house. Police were seen at the other house a few times.
- Another concern is the house is not being maintained. The fence is falling apart.
- There is no bus route on Bacon Place which means a lot of foot traffic and this concerns families who have small children that frequently use the sidewalks.
- I paid \$745,000 for my house in 2014. I purchased my house believing that I would be surrounded by family homes not a group home. I have dealt with a lot of stress over the years, My realtor told me this group home will diminish my property value.

The notice letter itself is vague and does not provide sufficient context about who will be staying at the home. There is no information regarding criminal history or background of the residents, which leaves the surrounding community in the dark about potential risks to safety. Without transparency, residents cannot make informed decisions or properly voice their concerns.

The current lack of accountability and proactive management of this facility has already created significant disruption to the safety, cleanliness, and peace of the neighbourhood.

Allowing a larger formally recognized group home at the location especially one that could potentially house individuals with a history of addiction, repeat offences, or even more serious concerns such as sexual offenses will only intensify these risks.

Additionally, I am deeply worried about the impact on property values. A group home of this nature, given its history and the challenges it has already created for surrounding residents, will likely decrease the desirability and market value of my home and others in the immediate vicinity.

Thank you for your time and consideration of this matter. I request that my concerns be formally recorded as part of the review process.

Sincerely,

Jason Walsh

ATIA 20(1)
[REDACTED]
[REDACTED]



Memo

Date: November 12, 2025
 To: Jolene Wilson; Administration Manager, Wood Buffalo Wellness Society
 From: Elias Biolley; Planner II, Planning & Development
 Subject: Development Permit Application 2025-DP-00319 Review Feedback

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Planning Review has determined that **revisions are required to be considered for an approval.**

The planning review comments are as follows:

1. The property has capacity for a maximum of four (4) parking stalls.
 - a. Parking Stall requirements: 1 stall per rentable bedroom
 - i. Proposed seven (7) bedrooms require at least seven parking stalls
 - ii. Parking stall dimensions: $2.30\text{m} \times 5.80 = 13.34\text{m}^2$
 1. Four (4) parking stalls for residents
 2. Staff parking will not be included.
 3. Street parking is strictly prohibited.



2. Reduce the number of proposed bedrooms to four (4) bedrooms.
 - a. Re-label the bedroom floor plans to other uses which may include other uses such as, staff office, library or den.



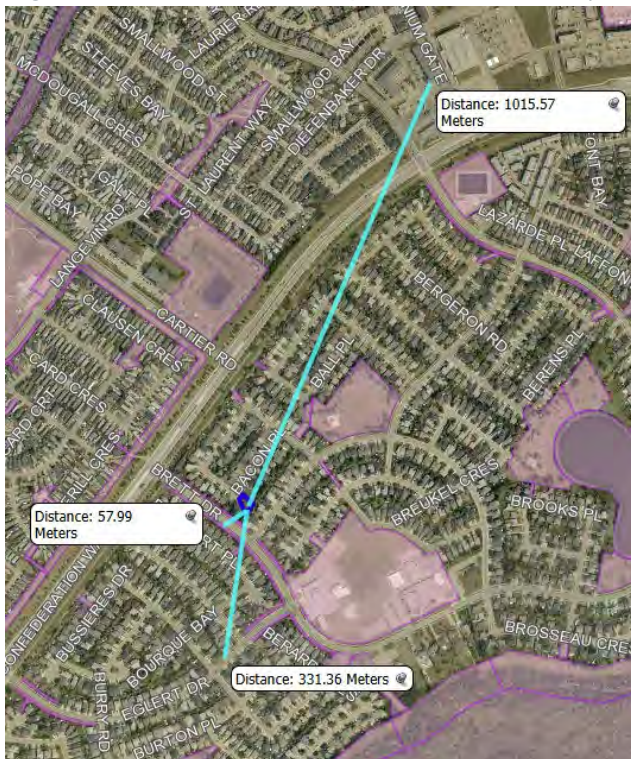
3. Aligned with the program process, the approved Development Permit would be issued as a temporary use for two (2) years. This period will allow for the review and assessment of any neighbourhood concerns. If the outcome is satisfactory, a subsequent Development Permit may be issued to allow for permanent use.
4. Install functional security cameras around the exterior of the single detached dwelling to enhance safety and security.
5. Other considerations:
 - **Chronological Development Permits:**
 - 1) 1988-142 – Single Family Dwelling
 - **Encroachment:** the rear accessory building requires a development permit and setback distances.
 - **Easement:** no visible encroachments.
 - **Neighbouring Developments:**
 - 1) 2015-DP-00517 – Basement Suite (2-bedroom) – 229 Bacon Place
 - 2) 2014-DP-00139 – Home Business (Massage Therapy) – 189 Bacon Place
 - 3) 2011-DP-00447 – Home Business (Selling Yoga Wear) – 180 Bacon Place
 - 4) 2025-DP-00015 – Home Business (Eyelash extensions) – 245 Barber Place
 - 5) 2016-DP-02251 – Home Business (Prelim Electric Ltd.) – 257 Barber Drive
 - 6) 2015-DP-00959 – Home Business (Relax Massage Therapy) – 258 Barber Drive
 - **Statutory Plans Review:**
 - Area Structure Plan – Timberlea ASP no relevant information
 - Municipal Development Plan
 - 1) 1.1.4.c Diverse and Attainable Housing Choices
 - a) Where possible, The Municipality will support innovative housing options that accommodate a variety of housing needs, incomes, and lifestyles. In particular, the Municipality will encourage housing innovations that respond to Wood Buffalo's northern climate, promote affordability, and/or increase local vibrancy and desirability.
 - b) The Municipality will collaborate with social profits and other organizations in Wood Buffalo in advocating to senior levels of government for investment in affordable housing.
 - Affordability – Housing affordability is defined in many different ways, with individual municipalities often creating their own local approach. One of the most common measures of housing affordability is the 30% shelter cost to income ratio.
 - 1) 1.2.5 Maintain High Standards in Emergency Response and Preparedness
 - a) The Municipality will identify emergency mitigation measures and update emergency action plans accordingly.
 - 2) 6.2.1 Urban Service Area Development Concept
 - d) **Priority Neighbourhoods** will offer a range of housing choices to accommodate higher average densities than Established Neighbourhoods,





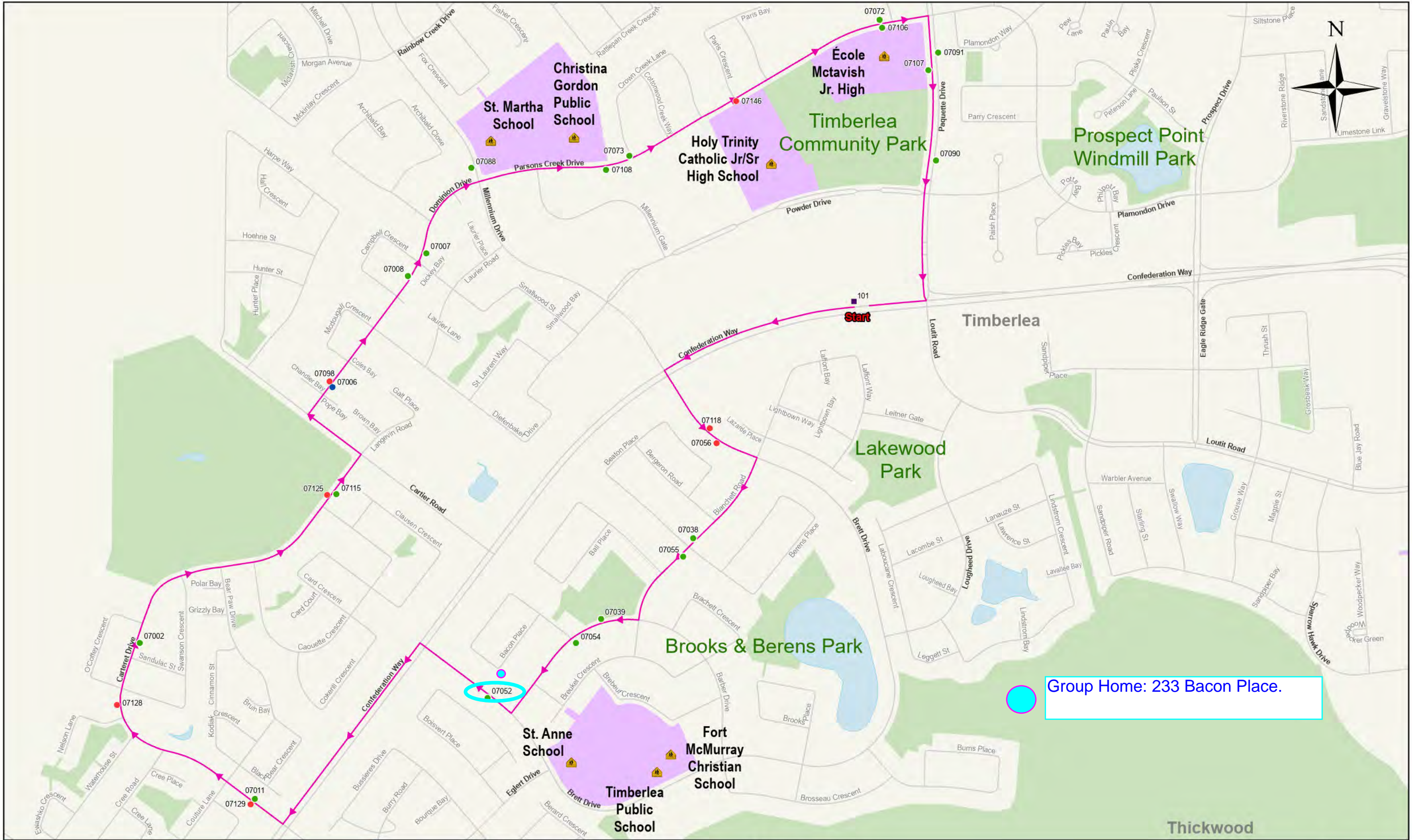
provide a mix of residential with other uses (e.g., commercial, recreational, institutional etc.), and achieve a compact form.

- **Established Neighbourhood** refers to developed residential lands including small to medium scale commercial, recreational, and institutional areas.
- **Established Residential** areas are the currently existing built-out residential areas throughout the Municipality. They contain a mix of housing, institutions, parks, and businesses.
- **Priority Neighbourhood** refers to development ready lands with approved policy framework, zoned with defined densities and some level of installed infrastructure.
- **Transit Nodes** are high concentration areas of transit interconnectivity. These are locations where rapid transit service is prioritized and often where intermodal connections can be easily or quickly made (such as to inter-regional bus service, domestic and international flights, taxis, or active transportation networks).



- - Route 5 bus stop (07052) located on Brett Drive and Barber Drive
 - Route 6 bus stop (07041) located on Eglert Drive and Brett Drive
 - Neighbourhood Core located at Timberlea Confederation Way & Millennium Dr – access to goods and services.

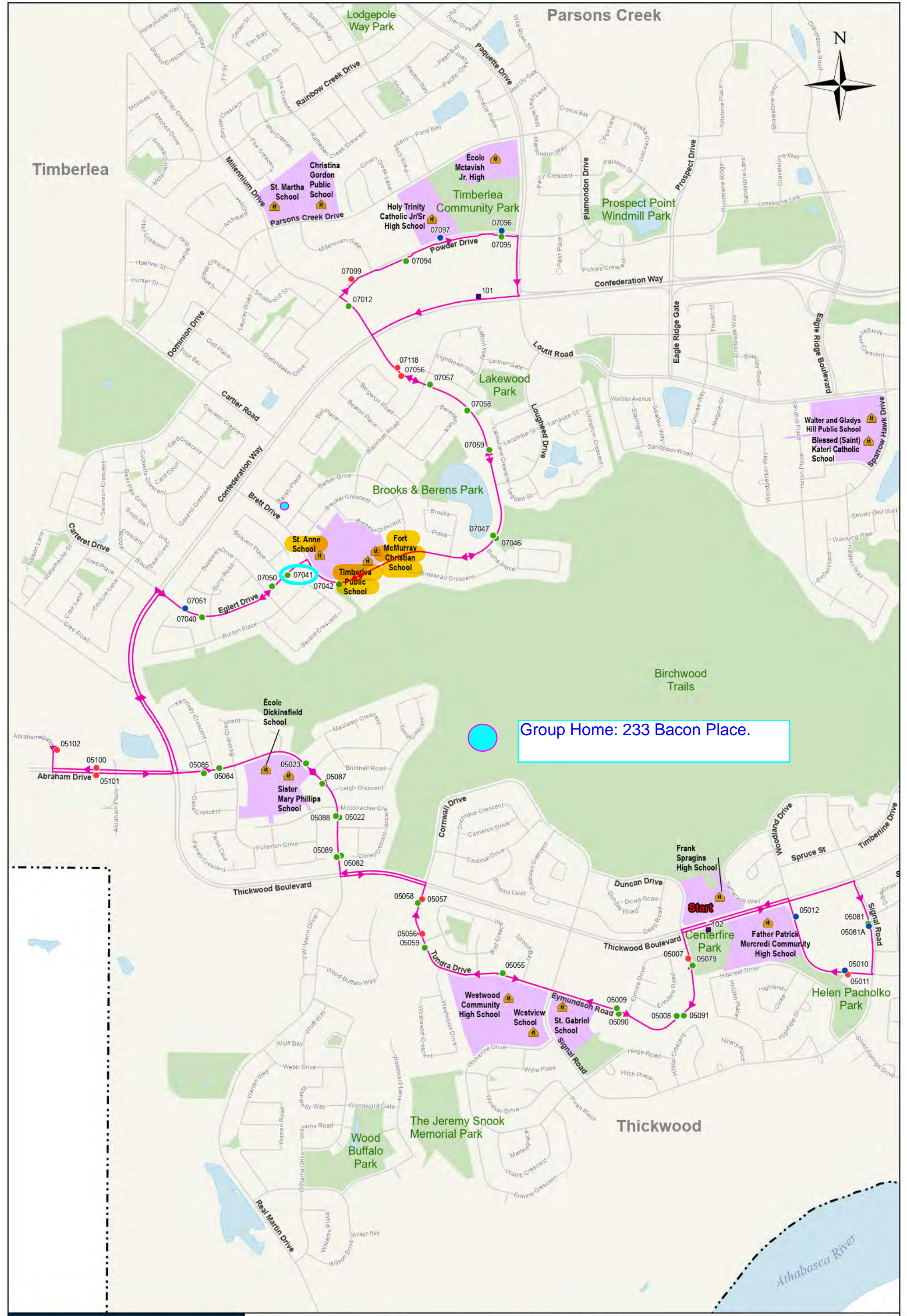
Planning requires the indicated four (4) revisions to consider an approval.



**ROUTE 5
TIMBERLEA - BEAR RIDGE**

- | | | |
|--------------------|-------------------|----------------------|
| ● Heated Shelter | 🏫 School | 🏠 Community Boundary |
| ● Transit Stops | 🎓 College Campus | 🏫 Education Facility |
| ● Terminal | 📖 Learning Centre | 🌳 Park |
| ● Unheated Shelter | — Bus Route | 💧 Water Feature |
| | — Road | |





**ROUTE 6
THICKWOOD -
TIMBERLEA**

● Heated Shelter

● Transit Stops

■ Terminal

● Unheated Shelter

School

College Campus

Learning Centre

Bus Route

Road

Community Boundary

Education Facility

Park

Water Feature

0125250

Metres

Page 79

July 10, 2025

REGIONAL MUNICIPALITY
OF WOOD BUFFALO

TRANSIT

Document Name: Route 6 Thickwood - Timberlea

November 12, 2025

Wood Buffalo Wellness Society
PO Box 5748
Fort McMurray, AB T9H4V9

Re: 2025-DP-00319

Please find attached the list of comments from internal departments and franchise utilities regarding your Group Home.

Please note that this list of replies is provided for your information purposes; other conditions may apply prior to approval.

Please feel free to contact me if you require information or assistance.

Yours truly,

Planning and Development Dept.
Land Services Branch
Regional Municipality of Wood Buffalo

Objections, Outstanding Issues or Special Requirements

2025-DP-00319

Review Comment:

Circulated To	Status	Circulated Date	Status Date	Comment
Underground Service	Approved	Sep. 18, 2025	Sep.23, 2025	<p>All design and construction work must adhere to the latest RMWB Engineering Standards and Construction Specifications. Municipal utilities must be located prior to any groundbreaking work (digging, excavating, drilling etc.). To schedule locates, please call Underground Services (UGS) at 780-799-5823, at least two weeks in advance of planned works.</p> <p>01. Ensure all required permits from the RMWB Safety Codes Services department are applied for, obtained, and that the permits are satisfactorily closed out.</p> <p>Note: Private dwellings (single-family homes) in use as a dwelling, that are otherwise able to maintain a Group C residential major occupancy as per the National Building Code - 2023 Alberta Edition, fall outside the scope/jurisdiction of the RMWB to enforce compliance-monitoring activities of the Safety Codes Act regarding the fire discipline. Please advise the Fire Prevention Branch if the premises is determined to require to be re-classified as a Group B, Division 4 major occupancy (home-type care occupancy).</p>
Emergency Management	Approved	Sep. 18, 2025	Nov.12, 2025	
Fire Prevention	Approved	Sep. 22, 2025	Sep.23, 2025	

Subdivisions	Approved	Sep. 22, 2025	Sep.23, 2025	<p>Subdivisions has no concerns with the approval of this development permit application.</p> <p>We note from the RPR that the shed is setback approximately 0.62 meters and 0.34 metres from the rear property line, with the shed's eaves on the east side located directly on the property line.</p> <p>Considering that the shed's east rear yard setback of 0.34 meters falls short of the minimum rear yard setback and also exceeds the maximum allowable rear yard setback variation, it is recommended that the property owner consider relocating the shed to a location that complies with the minimum setback distances to the property line.</p>
Safety Codes	Approved	Sep. 22, 2025	Sep.24, 2025	The home will require an occupancy permit and inspection, if additional work is required such as egress windows, smoke or CO alarms then additional safety codes permit will be required.
Solid Waste Services	Approved	Sep. 18, 2025	Nov.12, 2025	
Water Treatment Branch	Approved	Sep. 18, 2025	Sep.23, 2025	<p>All design and construction work must adhere to the latest RMWB Engineering Standards and Construction Specifications.</p> <p>Municipal utilities must be located prior to any groundbreaking work (digging, excavating, drilling etc.). To schedule locates, please call Underground Services (UGS) at 780-799-5823, at least two weeks in advance of planned works.</p>
Waste Water Treatment Branch	Approved	Sep. 18, 2025	Sep.23, 2025	<p>All design and construction work must adhere to the latest RMWB Engineering Standards and Construction Specifications.</p> <p>Municipal utilities must be located prior to any groundbreaking work (digging, excavating, drilling etc.). To schedule locates, please call Underground Services (UGS) at 780-799-5823, at least two weeks in advance of planned works.</p>

Kari Boschee
BSc BEH(AD) CPHI(C)
Public Health Inspector II
Alberta Health Services – North Zone
Fort McMurray
Direct: (780) 742-6114
Email: Kari.Boschee@ahs.ca

October 3, 2025

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
9909 Franklin Avenue, Fort McMurray, AB T9H 2K4
T: 780-793-1017

Dear Mr. Biolley-Villalobos:

Re: Development Permit: 2025-DP-00319 – Sober Living House
Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8
Legal Address: Lot: 24, Block: 10, Plan: 852 1147
Land District: R1 – Single Detached Residential District
Discretionary Uses–Planning Commission: Group Home

After reviewing the materials provided with this development permit application, AHS SHE understands that this application will involve utilizing an existing single story residential home as a social care facility (group home) providing living accommodations, food preparation space in addition to mental and social health services. The existing residential home is located within the municipality of Fort McMurray and is connected to the municipal drinking water and sewer systems. Some minor renovations may be required to convert the residential home into the adult group home. This facility is proposed to house 7 full-time clients – all will be adult males. This facility will be managed by the Wood Buffalo Wellness Society.

Alberta Health Services – Environmental Public Health has received and reviewed the above referenced application for development (**2025-DP-00319**) and has the following comments, a response is required if development progresses:

1. If a Phase 1 Environmental Site Assessment (ESA) report has been submitted in support of this application, AHS wishes to have an opportunity to review the document as it becomes available. This would allow for the evaluation of any potential environmental and public health concerns related to past or present land use of property and surrounding areas.

2. Ensure activities associated with construction and operation of the site are maintained in accordance with the Alberta Public Health Act Nuisance and General Sanitation Regulation (AR 243/2003) which states:

No person shall create, commit or maintain a nuisance. A person who creates, commits or maintains any condition that is or might become injurious or dangerous to the public health or that might hinder in any manner the prevention or suppression of disease is deemed to have created, committed or maintained a nuisance.

3. Social Care Facilities, including adult group homes, must adhere to the requirements of the Alberta Public Health Act including the Alberta **Housing Regulation and Minimum Housing and Health Standards**. Please use the following link to access both the regulation and the standard; [Health Enforcement Orders | Alberta Health Services](#).
4. The basement bedroom window sizes should be reviewed to ensure they meet the size requirements for emergency egress. All rooms used for sleeping are also required to have openable windows for ventilation.
5. The basement plans also showed a second bathroom, which requires natural and/or mechanical ventilation. The plans do not indicate a window in the basement bathroom.
6. The description provided with this application did not outline the plans for food preparation for clients – if this will be self-service or provided for clients by food handlers – this may impact the food facility requirements.
7. An approval inspection with a Public Health Inspector is required for social care facilities including adult group homes prior to beginning operations. Please call the SHE Contact Centre at: 1-833-476-4743 or submit an online request at the following link to schedule an inspection; [Contact Environmental Public Health · Alberta Health Services](#)
8. It is imperative that the applicant abide by the appropriate Alberta Building Codes, Fire Codes and Public Health Legislation during all stages of development and operation.

9. If any evidence of contamination or other issues of public health concern is identified at any phase of development, AHS wishes to be notified.

Please call (780) 742-6114 or e-mail Kari.Boschee@ahs.ca if you have any questions.

Sincerely,

ATIA 20(1)

Kari Boschee, BSc, BEH(AD), CPHI(C)
Public Health Inspector II/Executive Officer
Public Health/Environmental Public Health
Alberta Health Services – North Zone

From: [Elias Biolley-Villalobos](#)
To: [ATIA 20\(1\)](#)
Subject: RE: 233 Bacon Place, [ATIA 20\(1\)](#) Development Permit Applications
Date: Tuesday, November 18, 2025 1:52:00 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

Thank you for your confirmation, Nicki.

It will be advertised online this Thursday.

Please update the floor plan drawings to indicate the location of the five (5) bedrooms, and the remaining two (2) bedrooms must be relabelled.

Once the revised floor plans are sent back to me, the permit will be issued to you.

Thank you kindly,

Elias Biolley-Villalobos, BURPI
 Planner | Development Permitting
 Planning and Development Services
T: 780-793-1071

From: Nicki Lewis

Sent: Tuesday, November 18, 2025 11:31 AM

To: Elias Biolley-Villalobos

Subject: Re: 233 Bacon Place, [ATIA 20\(1\)](#) Development Permit Applications

Hi Elias,

As per our conversation this morning, we would like to go ahead with the 5th parking space for Bacon Place.

Thank you so much for your time.

Nicole Lewis

Pronouns She/Her/Hers

Facilities Manager

Wood Buffalo Wellness Society

C: (780) 713-9794

Box 5748

Fort McMurray | Nistawâyâw | Elídlí Kue'

T9H 4V9

facilities@woodbuffalowellnesssociety.com



www.woodbuffalowellnesssociety.com

From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Sent: Tuesday, November 18, 2025 10:06 AM

To: Jo-Anne Packham <ed@woodbuffalowellnesssociety.com>; Nicki Lewis

<facilities@woodbuffalowellnesssociety.com>

Cc: Becca Moores <aftercare1@woodbuffalowellnesssociety.com>; Jolene Wilson

<markamy@woodbuffalowellnesssociety.com>

Subject: RE: 233 Bacon Place, [ATIA 20\(1\)](#) Development Permit Applications

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Subject Property

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Development Permit Application: 2025-DP-00319

Good morning, Jo-Anne,

Please let me know if you have any questions regarding Development Permit Application 2025-DP-00319 for 233 Bacon Place. Given the site's maximum capacity of four (4) parking stalls, and considering that your residents do not use vehicles, you may wish to consider submitting an appeal to the Subdivision and Development Appeal Board (SDAB).

Some options to consider:

1. Refusal Issuance:

The Development Authority issues a refusal, and you can submit an appeal to request an increase in the number of bedrooms to the proposed amount.

2. Approval Issuance:

You revise the application to four (4) bedrooms, and subsequently submit an appeal to request an increase to the proposed number of bedrooms.

Please let me know if there is anything I can do to assist you.

Thank you kindly.

Elias Biolley-Villalobos, BURPI

Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos

Sent: Thursday, November 13, 2025 10:07 AM

To: 'Jo-Anne Packham' <ed@woodbuffalowellnesssociety.com>; Nicki Lewis <facilities@woodbuffalowellnesssociety.com>

Cc: Becca Moores <aftercare1@woodbuffalowellnesssociety.com>; Jolene Wilson <markamy@woodbuffalowellnesssociety.com>; Amanda Owens <Amanda.Owens@rmwb.ca>; Dennis Fraser <Dennis.Fraser@rmwb.ca>; Isela Contreras-Dogbe <Isela.Contreras-Dogbe@rmwb.ca>

Subject: RE: 233 Bacon Place, **ATIA 20(1)** Development Permit Applications

Good morning Jo-Anne,

Following our meeting on October 17, it was confirmed that the property at **ATIA 20(1)** can accommodate up to five (5) residents. This is based on the Land Use Bylaw requirement of one (1) parking stall per resident, and the property's capacity for five (5) parking stalls. We also agreed that the designated staff parking stall would be removed.

The property at 233 Bacon Place, however, only has the capacity for four (4) parking stalls (2 in the driveway and 2 in the attached garage). Therefore, a maximum of four (4) residents is permitted at this location.

If you wish to allow additional residents, you may consider submitting an appeal regarding the one (1) parking stall per rentable bedroom requirement.

Thank you kindly.

Elias Biolley-Villalobos, BURPI

Planner | Development Permitting
Planning and Development Services
T: 780-793-1071



From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Sent: Wednesday, November 12, 2025 6:20 PM
To: Nicki Lewis <facilities@woodbuffalowellnesssociety.com>
Cc: Becca Moores <aftercare1@woodbuffalowellnesssociety.com>; Jo-Anne Packham <ed@woodbuffalowellnesssociety.com>; Jolene Wilson <markamy@woodbuffalowellnesssociety.com>
Subject: RE: 233 Bacon Place, **ATIA 20(1)** Development Permit Applications
Property 1

ATIA 20(1)
[Redacted]
[Redacted]
[Redacted]
[Redacted]

Property 2

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Development Permit Application: 2025-DP-00319

Hello, Nicki and team,

I have attached my review memos, which include circulation comments for your reference regarding the two (2) properties.

- Property 1 will proceed with approval and issuance by tomorrow for five (5) adult women residents.
- Property 2 requires a reduction from seven (7) to four (4) residents. This is due to the property's capacity to accommodate at least four (4) parking stalls (two in the attached garage and two in the driveway).
 - The rear accessory building requires a development permit.

If you choose not to revise the development permit application for property 2, a refusal will be issued. You will then have the right to appeal this decision to the Subdivision and Development Appeal Board (SDAB), which will make the final determination on the matter.

Thank you kindly.
Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Nicki Lewis <facilities@woodbuffalowellnesssociety.com>
Sent: Wednesday, November 12, 2025 12:47 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Cc: Becca Moores <aftercare1@woodbuffalowellnesssociety.com>; Yvonne Ormson
<ed@woodbuffalowellnesssociety.com>; Jolene Wilson
<markamy@woodbuffalowellnesssociety.com>

Subject: 233 Bacon Place, **ATIA 20(1)** Development Permit Applications

Good afternoon, Elias,

Hope you had a great long weekend.

Just touching base on the status of the DP Applications for 233 Bacon Place and **ATIA 20(1)**.

Have there been any developments with respect to circulation and review?

Looking forward to hearing from you.

Warm regards,

Nicole Lewis

Pronouns She/Her/Hers

Facilities Manager

Wood Buffalo Wellness Society

C: (780) 713-9794

Box 5748

Fort McMurray | Nistawâyâw | Elídlí Kue'

T9H 4V9

facilities@woodbuffalowellnesssociety.com



www.woodbuffalowellnesssociety.com



Date of Posting:
November 18, 2025

Approval of Development Permit 2025-DP-00319

Civic address
233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Land Description
Lot: 24, Block: 10, Plan: 852 1147

Dear Jo-Anne Packham & Wood Buffalo Wellness Society,

I would like to bring to your attention that this decision is subject to appeal. The deadline for you to file an appeal is twenty-one (21) days from Thursday, November 20, 2025.

The notice will be posted on the Municipality's website on Thursday, November 20, 2025. In addition, the notices will be mailed via Canada Post to adjacent property owners and emailed to all respondents.

Please find attached a copy of the notification letter to be mailed to all property owners within a 60-meter radius of the subject property.

If an appeal is filed by the specified date, you will receive notification by mail from the Legislative Services Department of the Municipality.

Should you have any inquiries regarding the appeal process, please do not hesitate to contact the Clerk of the Subdivision & Development Appeal Board at 780-743-7001 or via email at SDAB@rmwb.ca.

Please feel free to reach out if you require further clarification or assistance.

Sincerely,

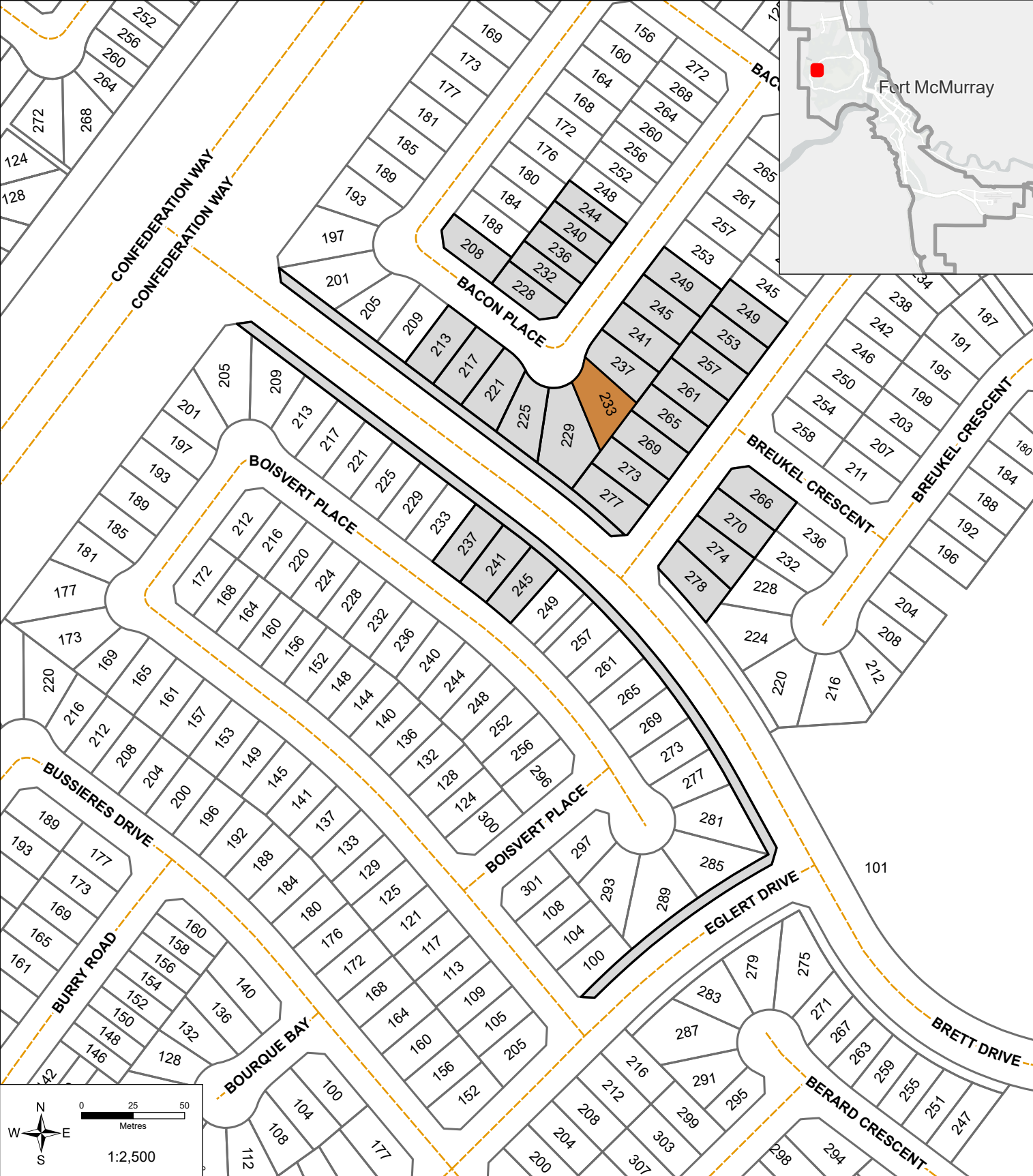
ATIA 20(1)

Elias Biolley-Villalobos, BURPI
Planner | Development Officer
M: DerbeElias.BiolleyVillalobos@rmwb.ca
T: 780-793-1017
Development Planning Branch
Planning & Development Services



SUBJECT AREA MAP

Notification



- Survey Parcels
- Adjacent Properties within 60 m
- Subject Area

233 BACON PLACE
Lot 24, Block 10, Plan 8521147



REGIONAL MUNICIPALITY
OF WOOD BUFFALO

Permit Number
2025-DP-00319

November 18, 2025

Applicant

WOOD BUFFALO WELLNESS SOCIETY
PO Box 5748
Fort McMurray, AB T9H4V9
(780) 713-9794

Owner

ROBERT;& CHANDRA L;FLETT

ATIA 20(1)

RE: Group Home (5-Bedroom Adult Recovery Home).
233 BACON PLACE
Lot: 24 Block: 10 Plan: 852 1147

Your application for a development permit at the above location has been approved by the Development Officer. This approval is subject to the conditions as outlined in the enclosed Development Permit.

PLEASE READ PERMIT CONDITIONS CAREFULLY.

This development permit shall expire and no longer be valid after one year from the date of decision of the permit if no construction has been initiated. Any other necessary permits shall be in place prior to commencement of any construction or occupancy. In the case of a change of use within an existing structure, where no significant construction or reconstruction is necessary, the applicant shall have the new use in operation within one year of the decision of the development permit.

IMPORTANT NOTE

1. Under the Municipal Government Amendment Act, this approval may be appealed within twenty one (21) days after the day of decision being posted. Should this decision be appealed within twenty one (21) days after the Date of Decision, this permit shall not become effective until the Subdivision and Development Appeal Board has determined the appeal and the Permit may be modified or nullified thereby. Commencement of the approved Development prior to expiry of the appeal period is at your own risk.
2. An appeal shall contain statement of the grounds of appeal and shall be delivered personally or by registered mail so as to reach the Secretary of the Subdivision and Development Appeal Board, 9909 Franklin Avenue, Fort McMurray, AB T9H 2K4 within the prescribed time period of twenty one (21) days.
3. Upon delivery of Notice of Appeal, the appellant shall pay to the Regional Municipality of Wood Buffalo, where the appellant is the owner of the site, or his agent, a fee of \$1000.00.

Compliance with other legislation - A person applying for, or in possession of a valid development permit is not relieved from full responsibility for ascertaining and complying with, or carrying out development in accordance with:

- a. the requirements of the Safety Codes Act, Environment Protection and Enhancement Act and Natural Resources Conservation Board Act;
- b. the requirements of any other Federal, Provincial, or Municipal statute, regulation code or standard; and
- c. the conditions of any caveat, covenant, easement or other instrument affecting a building or land.

The Municipality is not responsible for not does the Municipality have any obligation whatsoever to determine what other legislation may apply to a development, nor monitor or enforce compliance with such legislation.

REGIONAL MUNICIPALITY OF WOOD BUFFALO
Planning & Development Department
per:

ATIA 20(1)

November 18, 2025

Date

Elias Biolley-Villalobos
Planner II
Planning and Development Dept.

Regional Municipality of Wood Buffalo
DerbeElias.BiolleyVillalobos@rmwb.ca

Applicant: markamy@woodbuffalowellnesssociety.com

Issued : November 18, 2025

Development Permit

233 BACON PLACE

Lot	Block	Plan	Section	Township	Range
24	10	852 1147	26	89	10

Group Home

Group Home (5-Bedroom Adult Recovery Home).

Discretionary Uses – Planning Commission:
Advertising Date: Thursday, November 20, 2025

Appeal period is twenty-one (21) days from the advertising date.

- This development was approved by the Development Officer and is subject to the conditions attached to this permit.
- All conditions stated on this development permit must be complied with.
- You have one year from Date of Decision to commence construction. All appropriate building/mechanical permits must be applied for and issued. In the case of a change of use within an existing structure where no significant construction or reconstruction is necessary, the applicant shall have the new use in operation within one year of the decision of the development permit.

Regional Municipality of Wood Buffalo
Planning & Development Department
per:

ATIA 20(1)

Issued : November 18, 2025

Date

Elias Biolley-Villalobos
Planner II
Planning and Development Dept.

Regional Municipality of Wood Buffalo
DerbeElias.BiolleyVillalobos@rmwb.ca

Advisory Notes:

- 1 Any signage proposed for this development shall require a separate Development Permit application and approval.
- 2 All Federal, Provincial and Municipal statutes and regulations shall be met, including the Alberta Building Code.
- 3 A Utility Installation Permit may be required from the developer and shall be obtained from Engineering Services Division prior to installing underground utilities.
- 4 A Municipal Business License may be required for this development. Please contact the Planning and Development Services front counter staff at permit.inquiries@rmwb.ca for further information and, if applicable, to obtain an application.
- 5 The Alberta Fire Code applies in and around buildings existing or being constructed on a site. Complete project plans and specifications, construction fire safety plans, and fire related activities requiring Fire Prevention Permits shall be reviewed by the Fire Authority prior to the commencement of any work related thereto. Inquiries and permit applications shall be submitted to the Fire Authority.
- 6 The property has been previously approved for the following Development Permits:
1988-142 - Single Family Dwelling.
- 7 **GROUP HOME** means a development using a dwelling unit as a facility which is authorized, licensed or certified by a provincial authority to provide room and board for foster children or for physically, mentally, socially, developmentally or behaviorally challenged persons and which may be for the personal rehabilitation of its residents either through self-help or professional care, guidance and supervision. The residential character of the development shall be maintained with the occupants living together as a single housekeeping group using shared kitchen facilities. A group home may incorporate accommodations for resident staff as an accessory use.
- 8 The Safety Code department has the following comment:
The home will require an occupancy permit and inspection, if additional work is required such as egress windows, smoke or CO alarms then additional safety codes permit will be required
- 9 The Fire Prevention department has the following comment:
01. Ensure all required permits from the RMWB Safety Codes Services department are applied for, obtained, and that the permits are satisfactorily closed out.

Note: Private dwellings (single-family homes) in use as a dwelling, that are otherwise able to maintain a Group C residential major occupancy as per the National Building Code - 2023 Alberta Edition, fall outside the scope/jurisdiction of the RMWB to enforce compliance-monitoring activities of the Safety Codes Act regarding the fire discipline. Please advise the Fire Prevention Branch if the premises is determined to require to be re-classified as a Group B, Division 4 major occupancy (home-type care occupancy).

Conditions:

- 1 This development is classified as a Group Home (5-Bedroom Adult Recovery Home) and is a Discretionary Use–Planning Commission in the R1 – Single Detached Residential District.
- 2 Construction materials, including garbage, shall be stored so as not to create a nuisance to neighbouring properties.
- 3 The building location, design and external finish shall be as indicated on the approved drawings. Any changes to the approved plans shall be submitted to the Development Officer for further approval, even if said changes are minor in nature and are consistent with the regulations applied to the site.
- 4 A minimum of five (5) on-site parking stalls shall be provided for this development. The required parking stalls shall be accessible from a public thoroughfare, and be surfaced with gravel, asphalt, concrete or a similar material.
- 5 The gravel area used for the driveway expansion must obtain an Approved Boulevard Crossing Permit prior to an Occupancy Permit.
- 6 A minimum of thirty percent (30%) of the gross lot area shall consist of soft landscaping.
- 7 The Group Home shall maintain its residential character and remain in a good state of repair, including proper upkeep and cleanliness.
- 8 The garbage and waste material shall be stored in weather-proof and animal-proof containers and shall be visually screened in a manner compatible with the design and external materials of the principal buildings on the site.
- 9 The Group Home shall be equipped with functional security cameras around the exterior of the single detached dwelling to enhance safety and security.
- 10 All on site lighting shall be located, oriented and shielded so as to restrict the unnecessary illumination of adjacent residential properties.
- 11 The existing rear Accessory Building (shed: 4.92m x 3.71m) must obtain an Approved Development Permit prior to an Occupancy Permit.
- 12 All required Safety Code permits under the Safety Code Act in the: building, mechanical, electrical, gas, plumbing and private sewage disciplines must be obtained for this development. Please contact the Regional Municipality of Wood Buffalo - Planning and Development Branch to obtain the required Safety Code permits or for information regarding these permits 780-799-8695.
- 13 The Group Home must obtain authorization, licensing, or certification from a provincial authority to operate. They must adhere strictly to all pertinent Statutes and Regulations established by the Government of Alberta within six (6) months of the issuance of this Development Permit.



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0010 037 448 8521147;10;24 072 545 401

LEGAL DESCRIPTION
PLAN 8521147
BLOCK 10
LOT 24
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: REGIONAL MUNICIPALITY OF WOOD BUFFALO (FORT MCMURRAY)

REFERENCE NUMBER: 072 031 780

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
072 545 401	11/09/2007	TRANSFER OF LAND	\$575,000	\$575,000

OWNERS

ROBERT M FLETT

AND

CHANDRA L FLETT

BOTH OF:

ATIA 20(1)

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
152 113 750	16/04/2015	MORTGAGE MORTGAGEE - SERVUS CREDIT UNION LTD. 151 KARL CLARK ROAD NW EDMONTON ALBERTA T6N1H5

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

072 545 401

REGISTRATION

NUMBER

DATE (D/M/Y)

PARTICULARS

ORIGINAL PRINCIPAL AMOUNT: \$665,000

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 12 DAY OF AUGUST,
2025 AT 01:49 P.M.

ORDER NUMBER: 54535779

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



Wood Buffalo Wellness Society
PO Box 5748
Fort McMurray, Alberta
T9H 4V9

Phone (780) 334 – 2398
Fax (780) 334 – 2352
www.woodbuffalowellnessociety.com

July 31, 2025

To Whom It May Concern,

I/We, the undersigned, am/are the registered owner(s) of the property located at 233 Bacon Place.

I/We hereby authorize Wood Buffalo Wellness Society, to act on my/our behalf in submitting a Development Permit (DP) application for a Group Home at this property. This includes providing all required documentation, including the building plans.

This authorization is given voluntarily, and the information above is accurate to the best of my/our knowledge.

Sincerely,

Robert Flett & Chandra Flett

Signature :

ATIA 20(1)

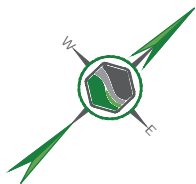
ATIA 20(1)

Date: August 7, 2025

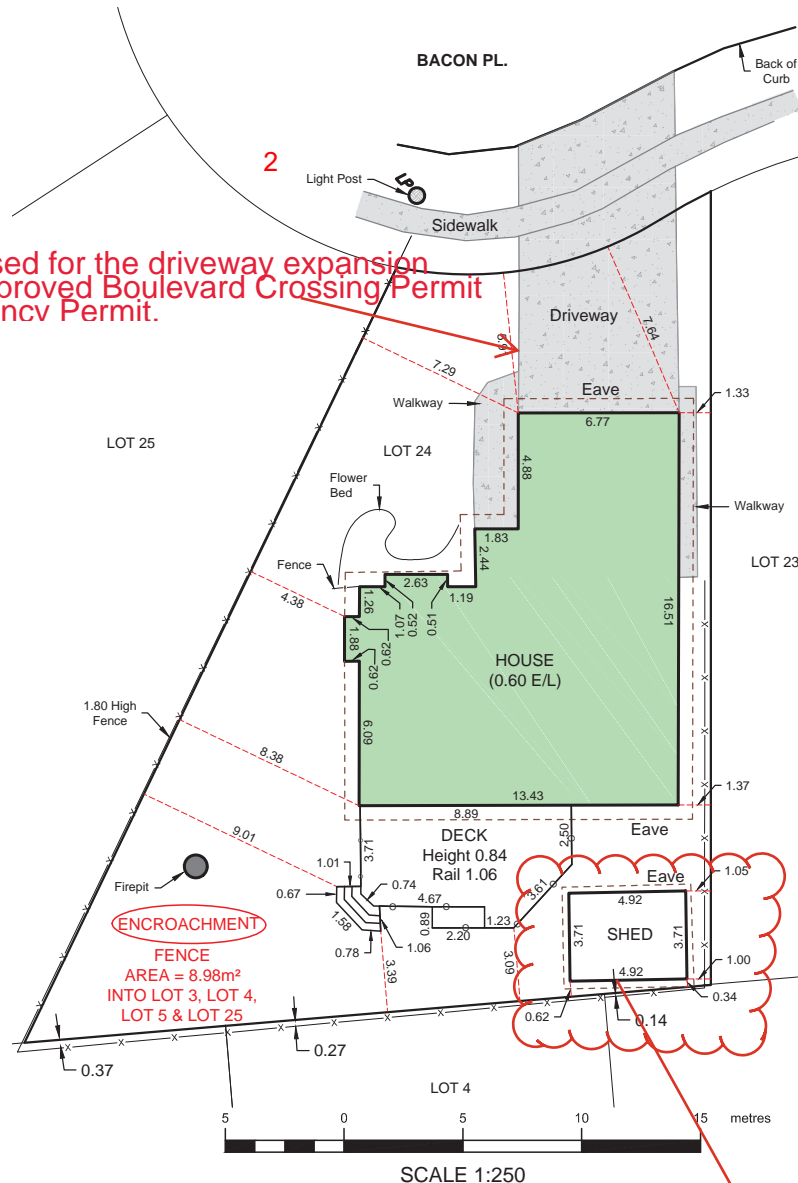
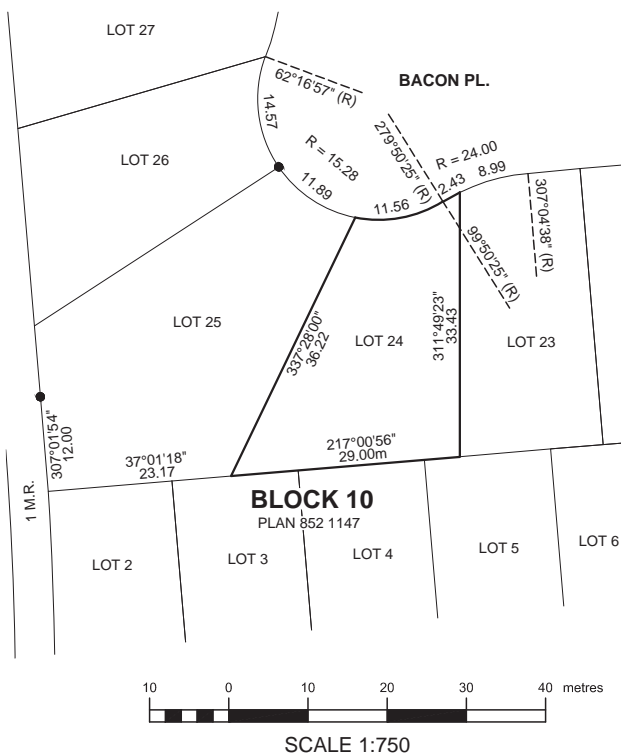
Description:

Recovery Home (sober home), The program is semi structured with a combination of required participation and exercising autonomy and independence. Residents are exposed to traditional recovery paths like mental health counselling and participation in peer support groups as well as provided opportunities for employment & training, education, volunteering, and leisure activities. 90% of the residents we work with are parents. In cases of family system disruption, we work with all parties to facilitate thoughtful family reunification plans. We work with many partner agencies to provide wraparound support with a multi-disciplinary approach to addiction and mental health recovery.

ATIA 20(1)



The gravel area used for the driveway expansion must obtain an Approved Boulevard Crossing Permit prior to an Occupancy Permit.



ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

LOT 24 BLOCK 10 PLAN 852 1147

TIMBERLEA

FORT MCMURRAY - ALBERTA

REG. NUMBER	NATURE	PARTICULARS
152 113 750	Mortgage	Servus Credit Union Ltd.
-	-	-
-	-	-
-	-	-
-	-	-

Information based on C. of T. # 072 545 401 Searched on August 11, 2025

Civic Address: (The Property) 223 Bacon Place

Distances shown are in metres and decimals thereof

Unless otherwise specified, the distances shown relate to distances from the property boundaries to the outside extremity of the siding walls only at the date of survey.

Statutory iron posts found shown thus

Eaves dimensioned from siding to fascia shown thus

Radial Bearings shown thus

E/L
(R)

Certification: I hereby certify that this Report, which includes the related survey, was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyors' Association's and supplements thereto. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

1. the plan illustrates the boundaries of the Property, the improvements as defined in Part C, Section 6.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and rights-of-way affecting the extent of the title to the Property;
2. the improvements are entirely within the boundaries of the Property;
- except fence into Lot 3, Lot 4, Lot 5 & Lot 25.
3. no visible encroachments exist on the Property from any improvements situated on an adjoining property;
4. no visible encroachments exist on registered easements or rights-of-way affecting the extent of Property.
5. the survey was completed on the 23rd Day of July, 2025
6. fences are within 0.20m of the property line - except as noted herein

Purpose: This Report and related plan have been prepared for the benefit of the Property owner, subsequent owners, and any of their agents for the purpose of (a land conveyance, support of a subdivision application, a mortgage application, a submittal to the municipality for a compliance certificate, etc.). Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility-rights-of-way affecting the extent of the Property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report.

The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information shown on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements because subsequent development changes on the property will not be reflected on the report.

This document is not valid unless it bears an original signature in blue ink and LN Land Development Technologies Inc. permit stamp in red ink.
Dated at Fort McMurray, Alberta.
This 11th day of August, 2025.

ATIA 20(1)

Alberta Land Surveyor

© Geoffrey Scott, A.L.S., 2025

Client: Wood Buffalo Wellness Society

Dwg. No.: LN012358-002-RPR 0

Date:	August 11, 2025
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SR/DR By:	J.B./K.D.
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Page 1 of 1

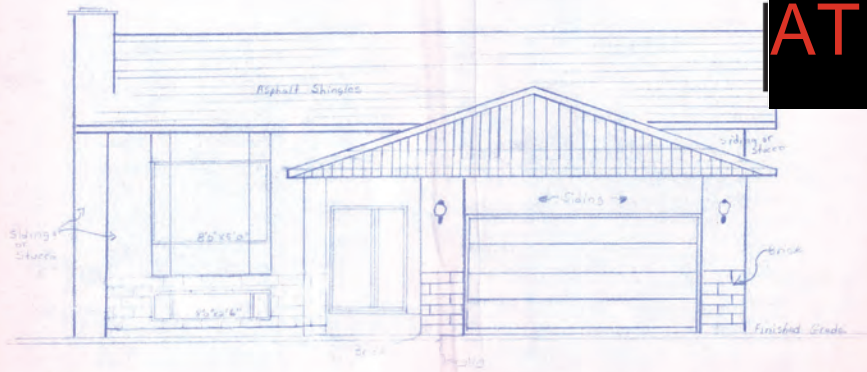


LN LAND
DEVELOPMENT
TECHNOLOGIES

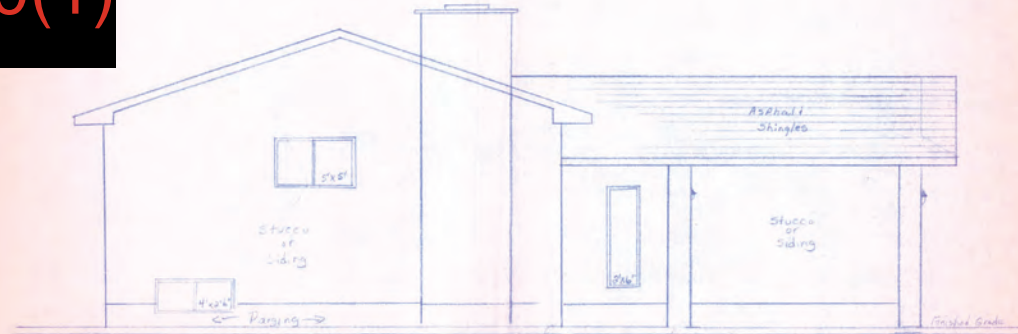
Toll Free 1-855-488-0064 www.lndt.ca

The existing rear Accessory Building (shed: 4.92m x 3.71m) must obtain an Approved Development Permit prior to an Occupancy Permit.

ATIA 20(1)

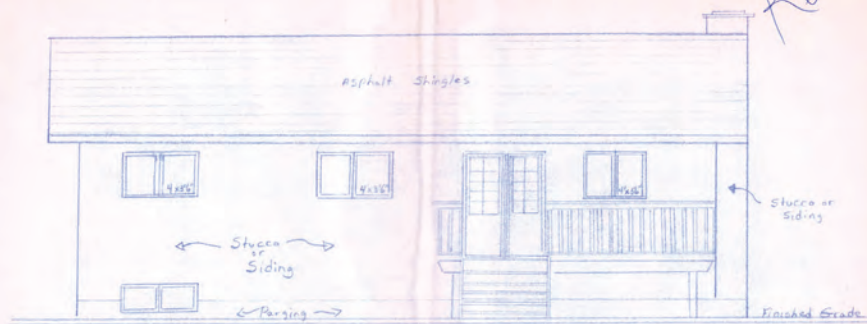


Front Elevation



Left Elevation

CITY OF FORT McMURRAY	
EXAMINED	
Date	01/27/18
Comm	ATIA 20(1)
Building Inspection Division	



Rear Elevation



Right Elevation

development application
conditional
approval

ATIA 20(1)

01/27/18

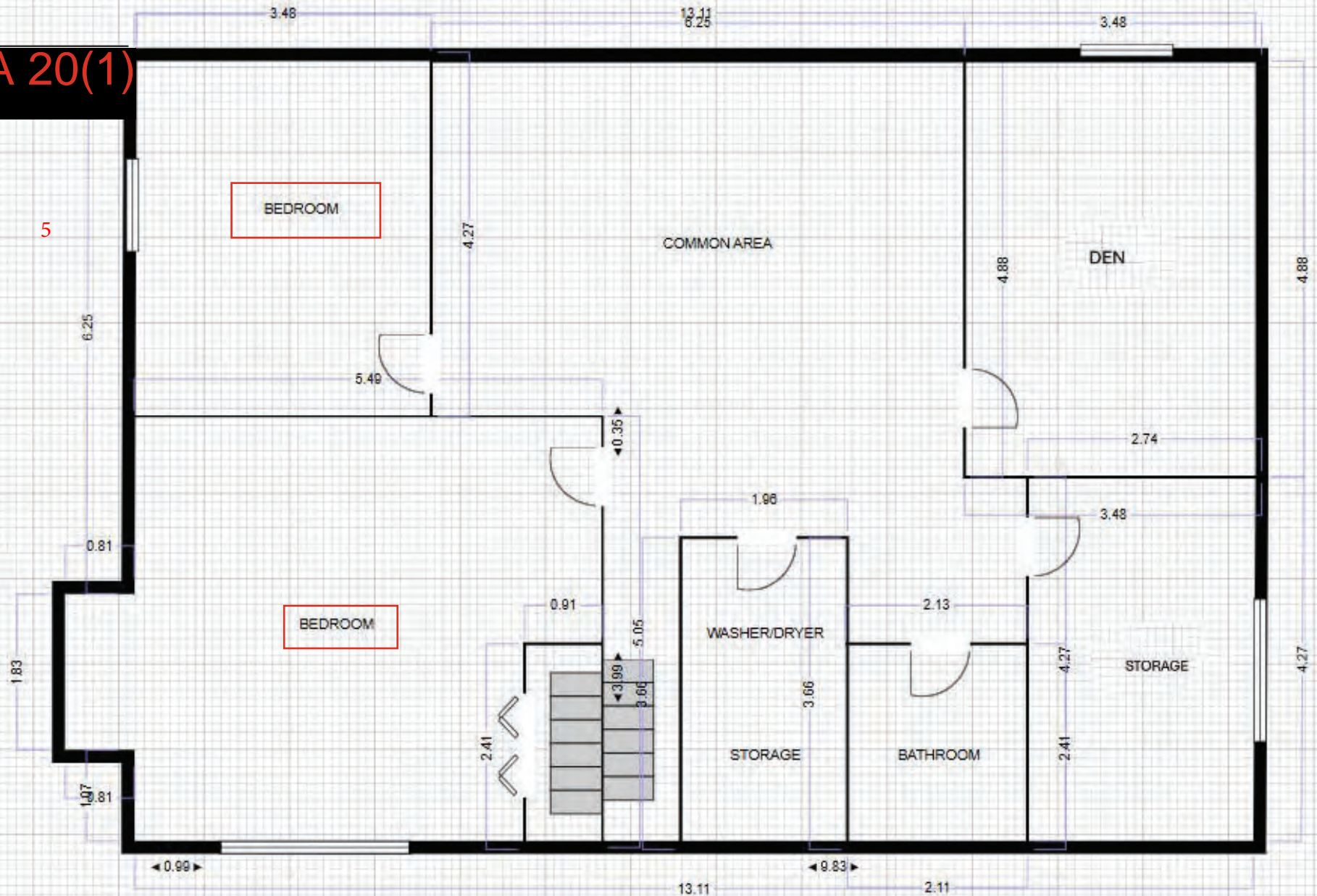
Designed & Drawn By Owner (Chad Construction Ltd.)

ATIA 20(1)

4

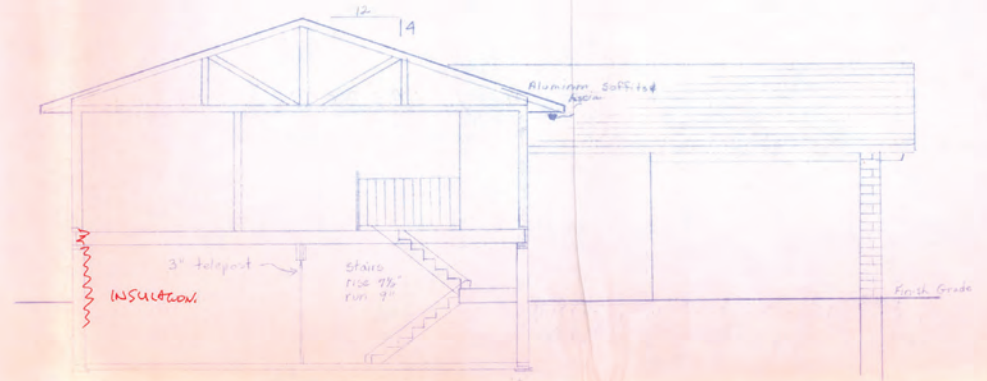
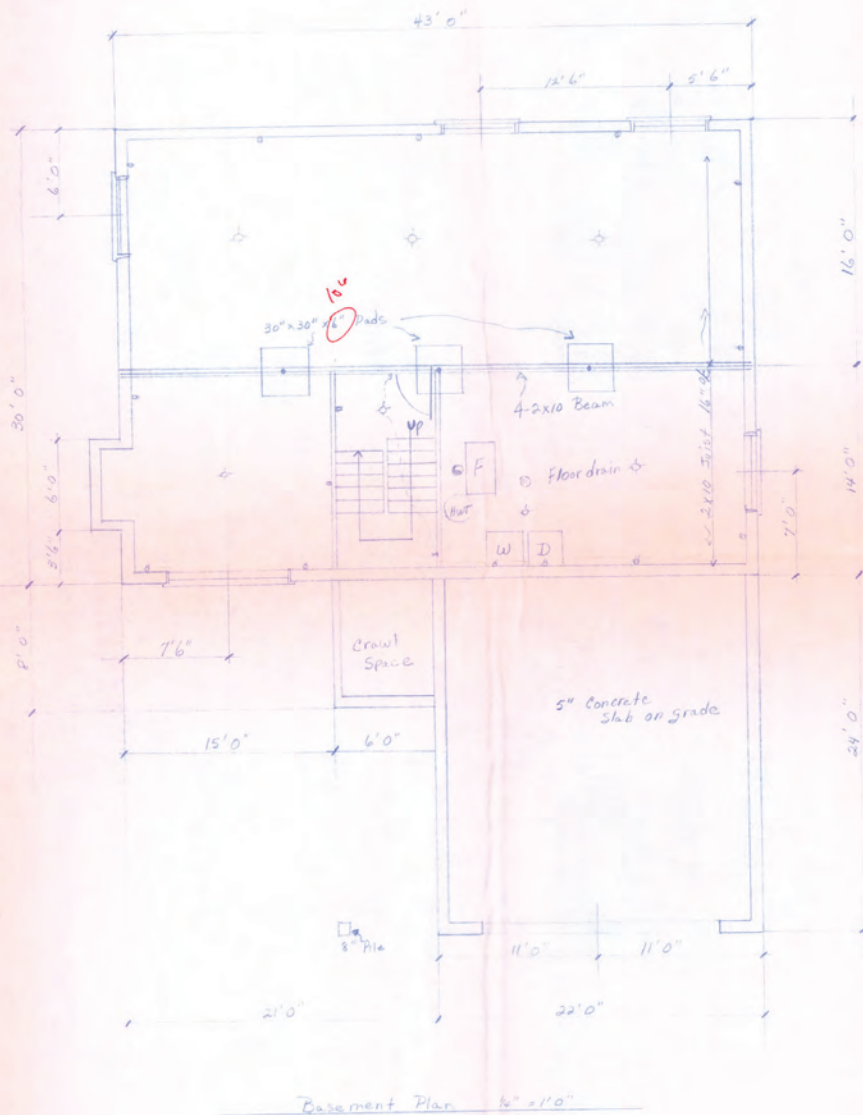


ATIA 20(1)



BASEMENT FLOOR PLAN
233 BACON PLACE
LOT 24, BLOCK 10, PLAN: 852 1147
LD: R1 - SINGLE DETACHED RESIDENTIAL
DEVELOPMENT PERMIT: 2025-DP-00319

SCALE: 1:50 (1CM = 0.5M)



Specifications

Roof Construction

#210 Asphalt Shingles
Roof sheathing
Approved Trusses 24" o/c
R-10 Insulation
4 mil Poly
1/2" Drywall
Painted or Treated

Exterior Walls

siding and/or Stone
Building Paper
3/4" sheathing
2x6 Studs 16" o/c
R-10 Insulation
4 mil Poly
1/2" Drywall Painted

Floor Construction

Carpet and/or tile
3/4" Joist Subflooring
2x10 Floor Joist 16" o/c
on 4-2x10 Beams
on teleposts

Interior Walls

2x4 Studs 16" o/c
1/2" Drywall with Sides
Painted

Preserved wood Foundation (Footings)

2x6 Foot Studs 16" o/c
R-10 Insulation 4 mil Poly
1/2" Drywall
5/8" PUF Plaster

Designed & Drawn By G. J. G. J.



Date of Posting:
November 18, 2025

NOTICE TO ADJACENT PROPERTY OWNERS

Issuance of Development Permit 2025-DP-00319 – Group Home

Civic address

233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Land Description

Lot: 24, Block: 10, Plan: 852 1147

The Planner has approved a Development Permit for a Group Home (5-bedroom Adult Recovery Home) at the subject property. The Group Home is required to maintain a residential character and remain in a good state of repair. Also, the Group Home is required to be equipped with functional security cameras around the exterior of the house to enhance safety and security.

You are notified of this development as a resident within a 60-meter radius of the subject property. You retain the right to appeal this decision to the Subdivision and Development Appeal Board. Should you choose to appeal, a written notice must be submitted to the Secretary of the Subdivision and Development Appeal Board (SDAB) within twenty-one (21) days from **Thursday, November 20, 2025**. For further details and to obtain the appeal application form, please contact the Clerk of the Appeal Board.

Subdivision and Development Appeal Board

9909 Franklin Avenue

Fort McMurray AB T9H 2K4

T: 780 743 7001 F: 780 743 7028

Email: SDAB@rmwb.ca

Questions regarding the appeal process should be directed to the Clerk of the Subdivision & Development Appeal Board. Any significant concerns arising from this notification will be addressed by the Subdivision and Development Appeal Board.

Sincerely,

ATIA 20(1)

Elias Biolley-Villalobos, BURPI

Planner | Development Officer

M: DerbeElias.BiolleyVillalobos@rmwb.ca

T: 780-793-1017

Development Planning Branch

Planning & Development Services





Wood Buffalo
TRIBUNALS

SUBDIVISION AND DEVELOPMENT APPEAL BOARD

NOTICE OF APPEAL

Attachment #12

In accordance with Section 678 and 686 of the Municipal Government Act and the Regional Municipality of Wood Buffalo Land Use Bylaw 99/059, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame.

Section 1 – Property Information				
Legal Land Description: (i.e. Lot, Block, Plan or ATS 1/4 Sec-Twp-Rng-Mer)				
Lot 24	Block 10	Plan 8521147	ATS	
Civic Address 233 Bacon Place				
Development Permit Number or type of Order 2025-DP-00319				
Section 2 - Appellant Information				
NB: At the time of the appeal hearing the individual acting as agent must produce the completed and signed Agent Authorization Form.				
Appellant Name (If the Appellant is a company, enter the complete legal name of the company) WOOD BUFFALO WELLNESS SOCIETY				
Agent's Name (if applicable)			Contact Name (if different) and position held NIKOLE LEWIS - FACILITIES MANAGER	
Mailing Address PO Box 5748		City/Town FORT MCMURRAY	Province AB	Postal Code T9H 4V9
Telephone Number (Daytime) ATIA s.20(1)		Alternate Telephone Number	Email Address facilities@woodbuffalowellnesssociety.com	
Section 3 – Appeal (Check One Box Only) for multiple appeals you must submit another Notice of Appeal				
Development Permit		Subdivision Application		Notice of Order
<input type="checkbox"/> Approval <input checked="" type="checkbox"/> Condition of Approval <input type="checkbox"/> Refusal		<input type="checkbox"/> Approval <input type="checkbox"/> Condition of Approval <input type="checkbox"/> Refusal		<input type="checkbox"/> Notice of Order
<input checked="" type="checkbox"/> I/We are the Applicant or Land Owner of the subject property <input type="checkbox"/> I/We are a person affected by an order, decision or development permit				
Section 4 – Reasons for Appeal				
Section 678 and 686 Municipal Government Act require that the written Notice of Appeal must contain specific reasons for the appeal. In support of your appeal, you are requested to provide a full statement of the grounds and reasons of your appeal. You may include any photographs, drawings or plans for clarification.				
I/We hereby appeal the decision of the Approval Authority for the following reason(s): Please see the attached. (Attach a separate page if required)				
PLEASE SEE REVERSE FOR IMPORTANT INFORMATION				
Date November 26, 2025		Signature of Appellant/Agent ATIA s.20(1)		
If an Agent is representing the property owner, a letter is required from the owner giving consent to a property inspection.				
Registered Owner:		I/We hereby give permission to the Regional Municipality of Wood Buffalo to do a site inspection and take photographs of the property as necessary for the purpose of this Appeal. ATIA s.20(1)		
Please return the completed form and prescribed filing fee to:				
Clerk of the Subdivision and Development Appeal Board, 7 th Floor, Jubilee Center, 9909 Franklin Avenue, Fort McMurray AB T9H 2K4 Telephone: 780-743-7001 Email: sdab@rmwb.ca				
Protection of Privacy				
The personal information you provide on this form is collected under the authority of section 4(c) of the Protection of Privacy Act. It will be used to process your appeal with the Subdivision and Development Appeal Board (SDAB). Your information will be disclosed in accordance with section 13(1) of the Protection of Privacy Act. If you have any questions regarding the collection or use of this personal information, please contact the Legislative Officer – SDAB, 7th Floor, 9909 Franklin Avenue, Fort McMurray, AB T9H 2K4, or call 780-788-2222.				
For Office Use Only				
Appeal #:	Fee:	Appeal Hearing Date:	Date Applicant Notified:	Date Appellant Notified:

¹ Agent — A person who acts for a Property Owner, Applicant, Appellant, and/or Affected/Adjacent Property Owner during the appeal hearing process or at a hearing before the Subdivision and Development Appeal Board.

To:
Subdivision and Development Appeal Board
Regional Municipality of Wood Buffalo

From:
Wood Buffalo Wellness Society
Fort McMurray, AB

Re: Development Permit 2025-DP-00319

Property: 233 Bacon Place

November 25, 2025

Attachment 1- Section 4 – Reasons for Appeal

We, the Wood Buffalo Wellness Society, submit this request to appeal the decision of the Development Authority to apply boarding-house parking requirements to a group home, resulting in an unjustified restriction on occupancy.

Currently, the residence at 233 Bacon Place has the capacity for 7 residents. However, during the time that we were seeking approval of the development permit, we were asked to reduce the occupancy of the residence from 7 to 5 to comply with the LUB 99/059, Residential – Boarding House minimum parking requirements of 1 stall per rentable bedroom. We proposed implementing a policy that limits use of personally owned vehicles to zero or 1 per residence. This would be very easy for us to implement and enforce given our level of involvement and daily staff presence at the home. This policy change would effectively deal with any potential for increased traffic congestion or strains on parking in and around the neighborhood. Given the proposed policy changes, the five available parking stalls should be more than enough to accommodate the needs of the home.

We feel that the development authority did not consider all relevant evidence, including but not limited to our proposed policy changes, when imposing the parking/occupancy conditions for our development permit.

We are asking that the Land Use Bylaw for Boarding Houses regarding minimum parking requirements not be applied as a condition to our Group Home Development Permit for the following reasons:

- 1) To date, only 6 participants out of over 2000+ in the program have owned a personal vehicle. Imposing a restriction on occupancy based on parking is inappropriate for this situation and using the boarding house parking requirement as a proxy for occupancy demand overestimates the real parking need.
- 2) The definition of a Group Home is significantly different from a Boarding House. While boarding houses are categorized as residential, they serve a fundamentally different purpose from group homes. Specifically, boarding houses are defined by and run for the purpose of providing lodging for compensation, they service independent, short-term and transitional tenants and assume higher vehicle ownership and turnover.

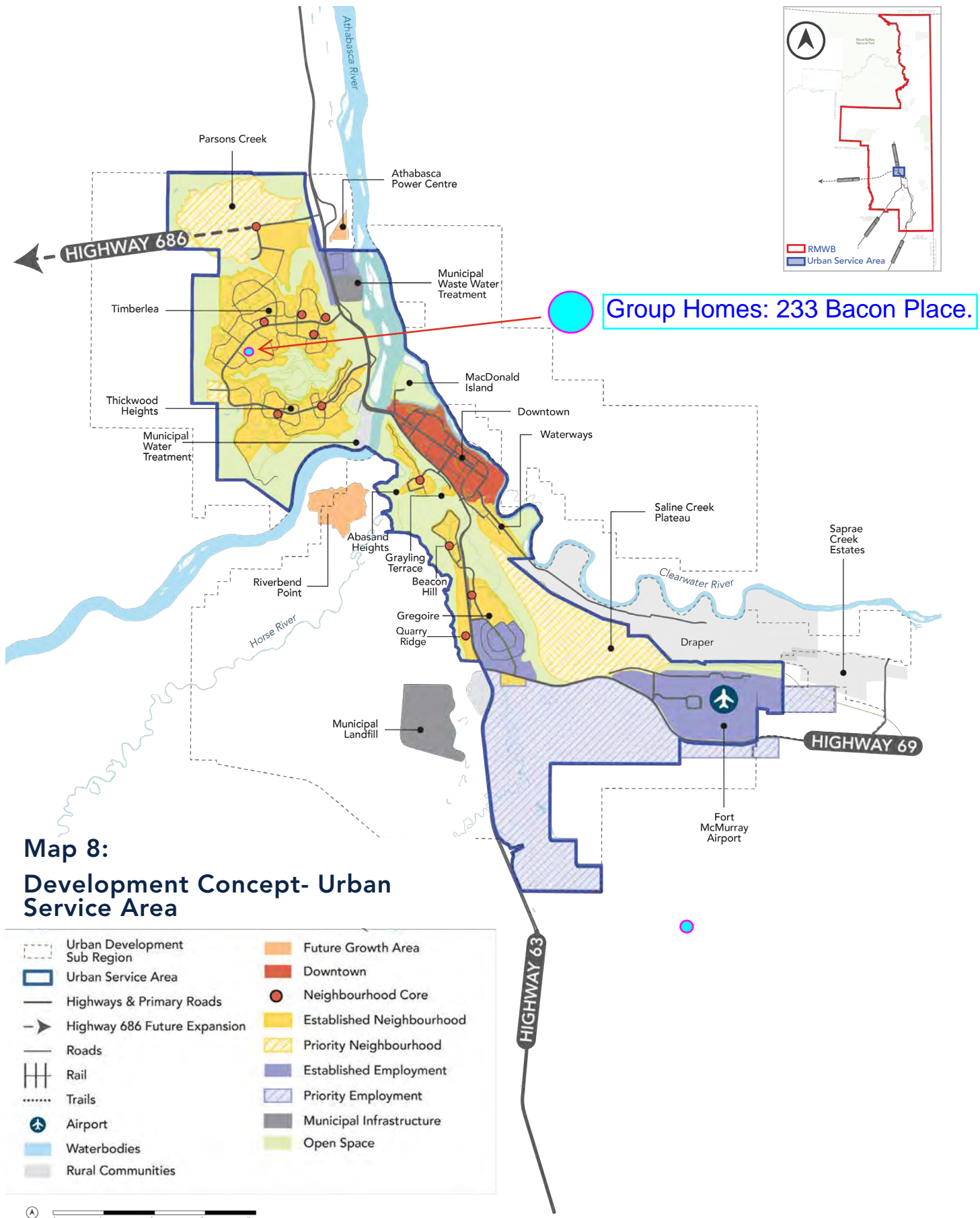
Group homes, by contrast, provide structured, supportive housing that serve individuals with disabilities protected under the Alberta Human Rights Act. They have very low vehicle ownership rates and operate as a single household environment, not a lodging business. They are also licensed and regulated by a provincial authority.

The fact that both appear under “residential uses” does not mean they generate the same parking demand or should be regulated in the same way. Given this distinction, we feel that the use of the Boarding House parking bylaw to limit occupancy is unnecessarily restrictive and inappropriate in this case.

- 3) Under Alberta’s Municipal Government Act (MGA), development conditions (like parking) should be relevant, reasonable, and tied to real impacts. There is no evidence that sober living homes generate the parking demand assumed for boarding houses. Using a parking restriction designed for a different residential use to prevent a group home from housing the appropriate number of residents is unreasonable, not connected to the actual parking impact and not related to genuine land-use concerns. Instead, it functions as an indirect method of reducing occupancy that is inconsistent with the intent of the MGA.
- 4) People living in sober living homes are recognized as having disabilities under the Alberta Human Rights Act (addiction is a protected disability). Municipalities have a legal obligation to avoid decisions that create discriminatory barriers. Restricting the number of residents based on an inflated parking standard has a disproportionate negative impact on persons with disabilities by denying them equal access to community-based housing and conflicts with the principle of reasonable accommodation. Municipalities must not apply bylaws in ways that effectively exclude disability-related housing from residential neighborhoods.
- 5) As the Wood Buffalo Wellness Society is a not-for-profit organization, having to significantly reduce the occupancy of our homes to comply with this imposed parking bylaw directly undermines the financial and operational viability of the program. Lowering the allowable number of residents can force programs like ours into a position where we can no longer meet minimum operating thresholds, leading to reduced services, financial instability, or

closure. The consequences of losing these programs extend far beyond the organization itself. Community-based non-profit housing plays a critical role in public health, social stability, and neighborhood safety. When these services become unavailable, individuals in need are displaced into unstable or unsafe environments, emergency shelters, hospitals, or the criminal justice system. These systems that are already strained and far more costly for taxpayers. As we are currently in a state of local emergency in addictions and mental health for Indigenous communities, the loss of the Sakihitowin program would have a negative impact on our community as a whole.

In conclusion, overly restrictive occupancy rules do not simply affect one home, they weaken the entire continuum of care. When a non-profit program is prevented from operating at an effective capacity, the whole community loses access to an essential resource that supports recovery, reduces harm, and contributes to safer, healthier neighborhoods.



	Date	Name	Address	Signature
(1)	Sept 25/25	Cole Flyward	ATIA 20(1)	
(2)	Sep 25/25	JASON BLUNDON		
(3)	Sept 25/25	Tina Tetreault		
(4)	Sept 25/25	LAURENT TETREAULT		
(5)	Sept 25/25	Hilary Leith		
(6)	Sept 25/25	Hope Draginda		
(7)	Sept 25/25	Jacob Husseyne		
(8)	Sept 25/25	Cheri Evashkevich.		
(9)	Sept 25/25	Clint Evashkevich		
(10)	Sept 25/25	Carolyn Adams		
(11)	Sept 25/25	Rob Adams		
(12)	Sept 25/25	Marlene Garano		
(13)	Sept 25/25	Vicente Alcantara		
(14)	Sept 25/25	Kevin Chesney		
(15)	Sept. 25/25	Tim Cameron		
(16)	Sept 25	Millage Simon		
(17)	" "	Andy Maly		
(18)	Sept 25	Dor & Parsons 780 880 3891		
(19)	SEPT 26	DENN PARKER PC		
(20)	Oct 2	Spencer Buchanan		
(21)	Oct 2	Brecky LeBlanc		

Brady LeBlanc

ATIA 20(1)

October 3, 2025

Planning & Development Department
Regional Municipality of Wood Buffalo
9909 Franklin Avenue
Fort McMurray, AB

Attention: Elias Biolley-Villalobos

Subject: Concerns Regarding Proposed 18+ Group Home at 233 Bacon Place

Dear Mr. Biolley-Villalobos,

We, the residents of Bacon Place, are writing to formally express our concerns regarding the proposed establishment of an 18+ group home at 233 Bacon Place. Our community is made up predominantly of young families with children, and we believe the introduction of this facility raises serious issues related to safety, traffic, and neighborhood compatibility.

1. Traffic and Parking

The addition of staff, visitors, residents, and service vehicles will significantly increase traffic and parking demand on a street not designed for this volume. Overflow parking could obstruct driveways, reduce visibility, and create congestion inconsistent with low-density residential zoning.

2. Child Safety

High Volume of Children

Our neighborhood is home to many young families. Children walk, bike, and play outdoors daily. Under Bylaw 26/001, residential zoning is intended to preserve safe, family-centered environments. Increased traffic and visitor turnover undermine this intent and place children at risk.

Busy Street Conditions

The street already handles a steady flow of vehicles. Additional traffic from the group home would further conflict with the principles of low-density zoning, which are designed to maintain quiet streets with minimal congestion.

Crosswalk & Visibility Issues

Overflow parking would reduce sightlines for both drivers and children, particularly near crosswalks, schools, and parks. This poses a serious safety concern, inconsistent with zoning regulations that protect residential character.

Speed & Driver Awareness

Frequent turnover of non-resident drivers unfamiliar with the area increases the likelihood of unsafe driving. Planning standards prioritize pedestrian safety, particularly near schools and playgrounds, yet the proposed use conflicts with this standard.

Loss of Parental Confidence

Families are drawn to this neighborhood for its safety and predictability. Increased traffic, higher visitor turnover, and unfamiliar faces would erode parental confidence in allowing children to play or walk independently.

3. Neighborhood Character

The community is centered around young families. Introducing a facility designed for adult residents brings activity levels, patterns, and supervision needs that differ from the family-oriented environment, making the proposal incompatible with the existing character.

4. Frequent Visitor Turnover

The continuous flow of staff, service providers, and visitors would make it harder for families to recognize who belongs in the neighborhood. This reduces the sense of security and may discourage parents from allowing children to play outdoors.

5. Property Value Impacts

Prospective buyers looking for a quiet, family-focused street may be discouraged by the presence of a group home, potentially reducing property values for current homeowners.

6. Emergency Services

If the facility requires frequent police, fire, or ambulance responses, this would place additional strain on emergency services and cause disruption for surrounding families.

7. Lack of Consultation

Residents outside the 60m notification boundary were not given adequate opportunity to provide input. Proper consultation is critical when changes may impact safety, family life, and neighborhood stability.

Our Request to Council / Planning & Development

Given these concerns, we respectfully request that the Planning & Development Department and Council take the following actions:

1. Deny the application on the basis that it does not align with key provisions of Bylaw 26/001, particularly regarding:
 - Parking capacity and traffic safety.
 - Adequate supervision and oversight.
 - Preservation of the family-oriented, low-density residential character of the neighborhood.
2. If the application is not denied, then enforce stronger conditions, including:
 - A comprehensive supervision plan detailing staffing levels, hours of coverage, and enforcement mechanisms.
 - A traffic and parking impact study, with binding requirements to provide adequate on-site parking and prevent overflow onto residential streets.
 - Legally binding agreements or covenants to ensure compliance with operating rules, including monitoring and enforcement mechanisms.
 - Restrictions on occupancy and activity levels to ensure consistency with low-density residential zoning.
 - A broader consultation process, extending beyond the 60m notification boundary, to give all affected residents the opportunity to participate in decision-making.

We trust that Council and the Planning & Development Department will give full consideration to the safety, stability, and family-oriented character of our neighborhood when reviewing this application.

Respectfully,

Brady LeBlanc
On behalf of the residents of Bacon Place

Email Responses

Stree Address	Owners	Owners Contact
ATIA 20(1)	Raylene and Ryan Dwyer Brady Leblanc Scott Connell Marlene Garand Kathleen Jason Walsh Rob Pagacz Brenda Jones Katie Arner Penelope Benoit Sudeep Sebastian Jessica Schneider D. Glen Barrett René Lapierre Ms. Sandra McGrath	ATIA 20(1)

From: [Elias Biolley-Villalobos](#)
To: ATIA 20(1)
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:26:00 PM
Attachments: [Notice to Neighbours - 2025-DP-00319.pdf](#)
[image001.png](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

I have attached the notification letter for your review. It confirms that the application has been approved, and the appeal period is twenty-one (21) days from Thursday, November 20, 2025, which coincides with online advertising. If you wish to submit an appeal, please follow the instructions provided in the attachment.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos

Sent: Wednesday, November 5, 2025 2:51 PM

To: ATIA 20(1)

Subject: Notification – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Ms. Sandra McGrath,

Following our telephone conversation, thank you for your feedback and for sharing your concerns.

1. Applicant Contact Information

For questions or information directly related to the applicant, please get in touch with the *Wood Buffalo Wellness Society*:

- **Telephone:** (780) 713-9794
- **Email:** markamy@woodbuffalowellnesssociety.com
- **Website:** [Wood Buffalo Wellness Society](#)

2. Planning Considerations

Concerns regarding the proposed Group Home must focus exclusively on planning-related matters, such as:

- Land use
- Intensity of use
- Parking

- Neighbourhood compatibility
- Policy compliance

Additional Context

Group Homes are a discretionary use within the R1 Residential District. If this application is approved, you will receive formal notification along with details of the twenty-one (21) day appeal period. Should you choose to appeal, you may be invited to appear before the Subdivision and Development Appeal Board (SDAB) to present your concerns.

[Submit A Pulse Ticket - Pulse](#)

If you would like to update your contact information, I recommend submitting a pulse inquiry to be directed to the most appropriate department for assistance.

Thank you kindly.



Elias Biolley-Villalobos

Planner

Planning & Development Services

T: 780-793-1017 | rmwb.ca

Office: 9909 Franklin Avenue, Fort McMurray, AB,
T9K 2K4

Fort McMurray | ᓂᓐᑕᓪᓴᓐᓂᓐ | Nistawâyâw | Ełı́dlı́ Kué
Alberta T9H 2K4

STATEMENT OF CONFIDENTIALITY: The information contained in this email message and any attachments may be confidential and legally privileged and is for the use of the intended recipient(s) only. If you are not an intended recipient, please: (1) notify me immediately by replying to this message; (2) do not use, disseminate, distribute or reproduce any part of the message or any attachment; and (3) destroy all copies of this message and any attachments. Thank you.

From: [Elias Biolley-Villalobos](#)
To: **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [image001.png](#)
[Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

I have attached the notification letter for your review. It confirms that the application has been approved, and the appeal period is twenty-one (21) days from Thursday, November 20, 2025, which coincides with online advertising. If you wish to submit an appeal, please follow the instructions provided in the attachment.

Thank you kindly.
Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos
Sent: Thursday, October 2, 2025 5:04 PM
To: Raylene Dwyer
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello,

The Wood Buffalo Wellness Society will be hosting an open house to address questions and concerns regarding their Group Homes.

You are invited to attend at the **Unifor Building, 10019 MacDonald Avenue, Fort McMurray (Downtown)** on either of the following dates:

- **October 6, 7:00 PM – 9:00 PM**
- **October 8, 12:00 PM – 2:00 PM**

This will be a valuable opportunity to share your concerns and have your questions answered in person.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Elias Biolley-Villalobos
Sent: Wednesday, September 24, 2025 5:37 PM
To: 'Raylene Dwyer' **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Confirmed, thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Raylene Dwyer <ATIA 20(1)>
Sent: Wednesday, September 24, 2025 5:36 PM
To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Okay, to be clear, we are opposed and would not support the approval.
Raylene and Ryan Dwyer

From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Sent: Wednesday, September 24, 2025 5:24:10 PM
To: Raylene Dwyer <ATIA 20(1)>
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

I won't share that information; the notification letters are intended to inform residents of this development. Should it be approved, the residents can appeal and share their opposing reasons.
Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Raylene Dwyer <ATIA 20(1)>
Sent: Wednesday, September 24, 2025 5:18 PM
To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Subject: Re: Notification – 2025-DP-00319 – Sober Living House

No problem, I'm curious if you've received many responses from fellow adjacent property owners.
Raylene

From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Sent: Wednesday, September 24, 2025 5:12:53 PM
To: Raylene Dwyer <ATIA 20(1)>
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Ok, thanks for letting me know.
Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Raylene Dwyer <ATIA 20(1)>
Sent: Wednesday, September 24, 2025 4:57 PM
To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Cc: Jolene Wilson <markamy@woodbuffalowellnesssociety.com>
Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Hi Elias, we are at ATIA 20(1)
Raylene

Subject: Development permit application 2025-DP-00319 concerns

Hello Elias,

We have received correspondence dated September 19th with respect to the development application for the group home at 233 Bacon Place. I do have some concerns, but first questions which will probably indicate to you what our concerns are:

1. What screening process is in place for residents? Are there restrictions in place for the individuals who will reside here? What are the criteria for the residents... What type of people should we expect living in the home?
2. What level of supervision will be in place for residents? Is it 24/7 supervision?
3. Will this affect property values within the neighbourhood?

This group home would be in the center of multiple family neighborhoods. There are 3 schools in the immediate area and playgrounds. My concern would be this group home would house criminals or mentally ill individuals who may pose a risk to our families.

Looking forward to your reply,

Raylene and Ryan Dwyer

From: [Elias Biolley-Villalobos](#)
To: **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [Notice to Neighbours - 2025-DP-00319.pdf](#)
[image001.jpg](#)
[image002.png](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

I have attached the notification letter for your review. It confirms that the application has been approved, and the appeal period is twenty-one (21) days from Thursday, November 20, 2025, which coincides with online advertising. If you wish to submit an appeal, please follow the instructions provided in the attachment.

Thank you kindly,

Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Jolene Wilson

Sent: Monday, October 6, 2025 10:04 AM

To: Sudeep Sebastian ; Elias Biolley-Villalobos

Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Hello Sudeep,

Thank you for taking the time to speak with us and for following up in writing. We understand and respect the care and concern you have for your family, your neighbourhood, and the children in your community.

We want to take this opportunity to clarify a few important points about the proposed recovery home:

Supervision and support

Although the home is classified as “unsupervised” under municipal definitions, it is in fact closely managed and supported by Wood Buffalo Wellness Society staff.

- Staff are at the home daily to check in with residents, provide counselling, and ensure the property and program standards are being met.
- Residents must follow strict rules — including a nightly curfew at 11:00 p.m., regular attendance at AA/NA meetings, and random drug testing (typically twice per week).
- Any resident who does not meet program expectations or violates sobriety requirements is immediately reviewed and may be exited from the program.

Resident eligibility

- All residents must be sober when entering the home.
- The majority come directly from licensed treatment centres after completing intensive recovery programs.
- Residents with any history of sexual offences or who pose a safety risk are not eligible for placement.

Purpose of the home

The Sakihitowin Recovery Home provides safe, stable housing for individuals who are committed to continuing their recovery journey. The home offers up to two years of residence where people can build structure, accountability, and community — key factors proven to support long-term sobriety and prevent relapse.

Regarding location

Recovery homes are most effective when located within neighbourhoods that reflect real community life — near schools, families, and workplaces — because successful recovery depends on reintegration, belonging, and connection. A supportive and structured home environment helps residents maintain their progress and become contributing members of the community.

We understand that change can raise concerns, and we want to remain transparent and available for ongoing dialogue. We are holding an open house at the Unifor Building today at 7pm-9pm and on October 8 from 12pm-2pm. Hopefully you will be able to make it to clear up any concerns.

With respect and kindness,

Jolene Wilson

Pronouns She/Her/Hers

Administration Manager

Wood Buffalo Wellness Society

C: (780) 713-9794

Box 5748

Fort McMurray | Nistawâyâw | Elídlí Kue´

T9H 4V9

markamy@woodbuffalowellnesssociety.com



www.woodbuffalowellnesssociety.com

"We acknowledge that we are located on Treaty 8 territory, traditional home and gathering place of the Cree, Dene and Metis. We humbly respect the histories, languages, and cultures of all Indigenous Peoples of our region and beyond, whose presence continues to enrich our vibrant community."

From: Sudeep Sebastian **ATIA 20(1)** >

Sent: Thursday, October 2, 2025 9:39 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>; Jolene Wilson <markamy@woodbuffalowellnesssociety.com>

Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Hi Elias,

Thank you for listening to our concerns over the phone.

Again, we wanted to put this in writing to ensure that the decision-makers are entirely aware of our concerns.

We are living at **ATIA 20(1)**

This neighbourhood, including our family, has small children, and we are really worried about this proposal. This is a family-friendly neighbourhood.

Because this house will be unsupervised, and there are no guarantees that the people living there won't revert to their previous ways, it could pose a risk to all of us.

Our home is a government-approved day home. Although we are not currently operating it, we do plan to reopen it in the future.

And nobody would want to send their children to a dayhome that is very close to a group home.

There are two schools in the area, and lots of children walk to and from school through these streets.

And the question is, are there any other locations within the city that are more suitable for this?

We have no issues with any individuals, but we are concerned about the scenario in which they revert to their old ways of life.

This is not the ideal location for an unsupervised group home. And we really are not looking forward to taking chances - one minor incident can change our lives forever.

Thanks and best regards

Sudeep Sebastian

ATIA 20(1)

Today is the day, and now is the time.

On Tue, Sep 30, 2025 at 12:38 PM Elias Biolley-Villalobos

<DerbeElias.BiolleyVillalobos@rmwb.ca> wrote:

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Sudeep Sebastian,

Thank you for your feedback and for sharing your concerns.

I am the assigned planner currently reviewing the development permit application, which is being circulated among our internal and external partners.

Answers to your comments:

#1 – I will redirect you to the applicant, *Wood Buffalo Wellness Society*, who can provide details on their residents. Their contact information is the following:

· Telephone: (780) 713-9794

From: [Elias Biolley-Villalobos](#)
To: ATIA 20(1)
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [image001.png](#)
[Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

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Thank you kindly.
Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos
Sent: Thursday, October 2, 2025 5:03 PM
To: ATIA 20(1)
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello,

The Wood Buffalo Wellness Society will be hosting an open house to address questions and concerns regarding their Group Homes.

You are invited to attend at the **Unifor Building, 10019 MacDonald Avenue, Fort McMurray (Downtown)** on either of the following dates:

- **October 6, 7:00 PM – 9:00 PM**
- **October 8, 12:00 PM – 2:00 PM**

This will be a valuable opportunity to share your concerns and have your questions answered in person.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Elias Biolley-Villalobos
Sent: Tuesday, September 30, 2025 11:04 AM
To: ATIA 20(1)
Subject: Notification – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Penelope Beniot,

Thank you for your feedback and for sharing your concerns.

I am the assigned planner currently reviewing the development permit application, which is being circulated among our internal and external partners.

Answers to your comments:

#1 – I will redirect you to the applicant, *Wood Buffalo Wellness Society*, who can provide details on their residents. Their contact information is the following:

- Telephone: (780) 713-9794
- Email: markamy@woodbuffalowellnesssociety.com
- Website: [Wood Buffalo Wellness Society | Home | Fort McMurray, Alberta, Canada](#)

#2 – The Group Home will not be supervised and will not have in-house staff.

#3 – All potential concerns regarding the proposed Group Home must focus exclusively on planning considerations, including land use, intensity, infrastructure, neighbourhood compatibility, and policy compliance.

#4 – Yes, the subject property was operating without the appropriate permits from the Municipality.

For context, Group Homes are considered a discretionary use within the R1 Residential District. Should the application be approved, you will be formally notified and provided a twenty-one (21) day appeal period. If you choose to appeal, you may be asked to appear before the Subdivision and Development Appeal Board (SDAB) to present your concerns regarding the proposed Group Home.

Thank you kindly.



Elias Biolley-Villalobos

Planner

Planning & Development Services

T: 780-793-1017 | rmwb.ca

Office: 9909 Franklin Avenue, Fort McMurray, AB,
T9K 2K4

Fort McMurray | ᓄᓐᑕᓕᓐᓂᓐ | Nistawâyâw | Etídlj Kué
Alberta T9H 2K4

STATEMENT OF CONFIDENTIALITY: The information contained in this email message and any attachments may be confidential and legally privileged and is for the use of the intended recipient(s) only. If you are not an intended recipient, please: (1) notify me immediately by replying to this message; (2) do not use, disseminate, distribute or reproduce any part of the message or any attachment; and (3) destroy all copies of this message and any attachments. Thank you.

From: Cisco Unity Connection Messaging System <unityconnection@rmwb.ca>

Sent: Tuesday, September 30, 2025 9:55 AM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Message from Unknown sender **ATIA 20(1)**

From: [Elias Biolley-Villalobos](#)
To: **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [image001.png](#)
[Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

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Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos
Sent: Thursday, October 2, 2025 5:03 PM
To: Katie Arner
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello,

The Wood Buffalo Wellness Society will be hosting an open house to address questions and concerns regarding their Group Homes.

You are invited to attend at the **Unifor Building, 10019 MacDonald Avenue, Fort McMurray (Downtown)** on either of the following dates:

- **October 6, 7:00 PM – 9:00 PM**
- **October 8, 12:00 PM – 2:00 PM**

This will be a valuable opportunity to share your concerns and have your questions answered in person.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Elias Biolley-Villalobos
Sent: Tuesday, September 30, 2025 9:40 AM
To: 'Katie Arner' <**ATIA 20(1)**>
Subject: Notification – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Katie Arner,

Thank you for your feedback and for sharing your concerns.

I am the assigned planner currently reviewing the development permit application, which is being circulated among our internal and external partners.

Answers to your comments:

#1 – I will redirect you to the applicant, *Wood Buffalo Wellness Society*, who can provide details on their residents. Their contact information is the following:

- Telephone: (780) 713-9794
- Email: markamy@woodbuffalowellnesssociety.com
- Website: [Wood Buffalo Wellness Society | Home | Fort McMurray, Alberta, Canada](#)

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#3 – All potential concerns regarding the proposed Group Home must focus exclusively on planning considerations, including land use, intensity, infrastructure, neighbourhood compatibility, and policy compliance.

#4 – Yes, the subject property was operating without the appropriate permits from the Municipality.

For context, Group Homes are considered a discretionary use within the R1 Residential District. Should the application be approved, you will be formally notified and provided a twenty-one (21) day appeal period. If you choose to appeal, you may be asked to appear before the Subdivision and Development Appeal Board (SDAB) to present your concerns regarding the proposed Group Home.

Thank you kindly.



Elias Biolley-Villalobos

Planner

Planning & Development Services

T: 780-793-1017 | rmwb.ca

Office: 9909 Franklin Avenue, Fort McMurray, AB,
T9K 2K4

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Alberta T9H 2K4

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From: Katie Arner **ATIA 20(1)**

Sent: Tuesday, September 30, 2025 9:30 AM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Concerns Regarding Group Home Application (Wood Buffalo Wellness Society)

Dear Elias Biolley-Villalobos,

I am writing in response to the notice I received regarding the application for a group home to be located at 233 Bacon Place, with the applicant being the Wood Buffalo Wellness Society. The notice states that the home would house adult males (18+) with a maximum of seven residents.

I would like to express my concerns before the October 3 deadline.

When I purchased my home at **ATIA 20(1)** nearly four years ago, I was not made aware that the property behind mine was already operating as a group home under the name “Ross Residence.” I only learned this two years after moving in, as I initially assumed it was simply being rented to multiple tenants. Had I known, I would have reconsidered purchasing my home.

As a single mother with two young children, the proximity of this group home raises personal safety and privacy concerns. I have already had to move a shed in my backyard to block a direct view into my kitchen, and my children’s bedrooms remain exposed, which requires me to be diligent with closing blinds.

While I understand that group homes can serve an important role in our community, I have several concerns that I hope can be addressed:

1. **Zoning** – Why this property allowed to operate as a group home in the past if it was not properly zoned? If it’s was, I had no idea about it when moving in.
2. **Property Values** – Will the presence of a group home directly behind mine negatively impact the value of my property? This is a significant concern, as having adjoining yards with a group home is not something most buyers would find appealing.
3. **Disclosure to Future Buyers** – If this zoning is approved, are future buyers required to be informed of the group home by their realtor? I was not informed when purchasing my home, and this feels like a major omission.

In the end, **I must state that I do not support the approval of this group home in its current location.** My concerns center on both the safety and well-being of my family and the potential impact on my property value.

Thank you for taking the time to consider my concerns. I would appreciate a response outlining how these issues are being addressed in the review of this application.

Sincerely,
Katie Arner

ATIA 20(1)

From: ATIA 20(1)
To: [Elias Biolley-Villalobos](#)
Subject: Re: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 7:50:18 PM
Attachments: [image001.png](#)
[image001.png](#)

Thanks I appreciate this.
Scott Connell

On Tue, Nov 18, 2025, 4:25 p.m. Elias Biolley-Villalobos
<DerbeElias.BiolleyVillalobos@rmwb.ca> wrote:

Subject Property:

Civic Address: [233 Bacon Place, Fort McMurray, AB T9K 1Z8](#)

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

I have attached the notification letter for your review. It confirms that the application has been approved, and the appeal period is twenty-one (21) days from Thursday, November 20, 2025, which coincides with online advertising. If you wish to submit an appeal, please follow the instructions provided in the attachment.

Thank you kindly.

Elias Biolley-Villalobos, BURPI

Planner | Development Permitting

Planning and Development Services

T: 780-793-1071

From: Elias Biolley-Villalobos
Sent: Thursday, October 2, 2025 5:03 PM
To: Scott Connell ATIA 20(1)
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello,

The Wood Buffalo Wellness Society will be hosting an open house to address questions and concerns regarding their Group Homes.

You are invited to attend at the **Unifor Building, [10019 MacDonald Avenue, Fort McMurray](#)**

(Downtown) on either of the following dates:

- **October 6, 7:00 PM – 9:00 PM**
- **October 8, 12:00 PM – 2:00 PM**

This will be a valuable opportunity to share your concerns and have your questions answered in person.

Thank you kindly.

Elias Biolley-Villalobos, BURPI

Planner | Planning and Development Services

T: 780-793-1017

From: Elias Biolley-Villalobos

Sent: Friday, September 26, 2025 11:40 AM

To: 'Scott Connell' <ATIA 20(1)>

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Duly noted.

Elias Biolley-Villalobos, BURPI

Planner | Planning and Development Services

T: 780-793-1017

From: Scott Connell <ATIA 20(1)>

Sent: Friday, September 26, 2025 11:37 AM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Hello, and thanks for the information. Another concern would be the possibility of having multiple vehicles parked on the street due to the amount of people in the building. This would be unacceptable to have 7 vehicles parked on the street.

Thanks, Scott Connell

On Thu, Sep 25, 2025, 10:26 a.m. Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca> wrote:

Subject Property:

Civic Address: [233 Bacon Place, Fort McMurray, AB T9K 1Z8](#)

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Scott Connell,

Following our telephone conversation, thank you for your feedback and for sharing your concerns.

I am the assigned planner currently reviewing the development permit application, which is being circulated among our internal and external partners.

Answers to your comments:

#1 – I will redirect you to the applicant, *Wood Buffalo Wellness Society*. Their contact information is the following:

- Telephone: (780) 713-9794
- Email: markamy@woodbuffalowellnesssociety.com
- Website: [Wood Buffalo Wellness Society | Home | Fort McMurray, Alberta, Canada](#)

#2 – The Group Home will not be supervised or have in-house staff.

#3 – All potential concerns regarding the proposed Group Home must focus exclusively on planning considerations, including land use, intensity, infrastructure, neighbourhood compatibility, and policy compliance.

For context, Group Homes are considered a discretionary use within the R1 Residential District. Should the application be approved, you will be formally notified and provided a twenty-one (21) day appeal period. If you choose to appeal, you may be asked to appear before the Subdivision and Development Appeal Board (SDAB) to present your concerns regarding the proposed Group Home.

Thank you kindly.



Elias Biolley-Villalobos

Planner

Planning & Development Services

T: 780-793-1017 | rmwb.ca

Office: [9909 Franklin Avenue, Fort McMurray, AB, T9K 2K4](#)

Fort McMurray | ᓂᓐᑕᓐᓴᓐᓴᓐ | Nistawâyâw | Ełıdlı Kué

Alberta T9H 2K4

STATEMENT OF CONFIDENTIALITY: The information contained in this email message and any attachments may be confidential and legally privileged and is for the use of the intended recipient(s) only. If you are not an intended recipient, please: (1) notify me immediately by replying to this message; (2) do not use, disseminate, distribute or reproduce any part of the message or any attachment; and (3) destroy all copies of this message and any attachments. Thank you.

From: [Elias Biolley-Villalobos](#)
To: **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

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Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos

Sent: Friday, October 3, 2025 11:56 AM

To: brady leblanc

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello, Brady LeBlanc,

Your comments have been received.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: brady leblanc **ATIA 20(1)** >

Sent: Friday, October 3, 2025 9:37 AM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Thank you Elias,

Please see attached List of concerns and neighbourhood signatures.

From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Sent: October 2, 2025 7:03 PM

To: brady leblanc **ATIA 20(1)** >

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello,

The Wood Buffalo Wellness Society will be hosting an open house to address questions and concerns regarding their Group Homes.

You are invited to attend at the **Unifor Building, 10019 MacDonald Avenue, Fort McMurray**

(Downtown) on either of the following dates:

- **October 6, 7:00 PM – 9:00 PM**
- **October 8, 12:00 PM – 2:00 PM**

This will be a valuable opportunity to share your concerns and have your questions answered in person.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Elias Biolley-Villalobos

Sent: Thursday, September 25, 2025 1:38 PM

To: 'brady leblanc' **ATIA 20(1)**

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hi Brady,

I have attached the notification letter for your review.

Cheers,

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: brady leblanc **ATIA 20(1)**

Sent: Thursday, September 25, 2025 11:01 AM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Thank you Elias,

Yes my address is **ATIA 20(1)** Also, would you be able to email me a copy of the handout that was delivered to people within 60 m?

Thanks,

Brady LeBlanc

OPERATIONS MANAGER

On Sep 25, 2025, at 10:25 AM, Elias Biolley-Villalobos
<DerbeElias.BiolleyVillalobos@rmwb.ca> wrote:

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Brady Leblanc,

From: [Elias Biolley-Villalobos](#)
To: ATIA 20(1)
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [image001.png](#)
[Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

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Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos
Sent: Thursday, October 2, 2025 5:03 PM
To: ATIA 20(1)
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

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Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Elias Biolley-Villalobos
Sent: Friday, September 26, 2025 2:01 PM
To: ATIA 20(1)
Subject: Notification – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Kathleen,

Following our telephone call, thank you for your feedback and for sharing your concerns.

I am the assigned planner currently reviewing the development permit application, which is being circulated among our internal and external partners.

Answers to your comments:

#1 – I will redirect you to the applicant, *Wood Buffalo Wellness Society*, who can provide details on their residents. Their contact information is the following:

- Telephone: (780) 713-9794
- Email: markamy@woodbuffalowellnesssociety.com
- Website: [Wood Buffalo Wellness Society | Home | Fort McMurray, Alberta, Canada](#)

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#3 – All potential concerns regarding the proposed Group Home must focus exclusively on planning considerations, including land use, intensity, infrastructure, neighbourhood compatibility, and policy compliance.

For context, Group Homes are considered a discretionary use within the R1 Residential District.

Should the application be approved, you will be formally notified and provided a twenty-one (21) day appeal period. If you choose to appeal, you may be asked to appear before the Subdivision and Development Appeal Board (SDAB) to present your concerns regarding the proposed Group Home.

Thank you kindly.



Elias Biolley-Villalobos

Planner

Planning & Development Services

T: 780-793-1017 | rmwb.ca

Office: 9909 Franklin Avenue, Fort McMurray, AB,
T9K 2K4

Fort McMurray | ᓄᓐᑕᓕᓐᓂᓐ | Nistawâyâw | Etídlj Kué
Alberta T9H 2K4

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From: Cisco Unity Connection Messaging System <unityconnection@rmwb.ca>

Sent: Friday, September 26, 2025 1:48 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Message from Unknown sender **ATIA 20(1)**

From: [Elias Biolley-Villalobos](#)
To: **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [Notice to Neighbours - 2025-DP-00319.pdf](#)
[image001.png](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

I have attached the notification letter for your review. It confirms that the application has been approved, and the appeal period is twenty-one (21) days from Thursday, November 20, 2025, which coincides with online advertising. If you wish to submit an appeal, please follow the instructions provided in the attachment.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos

Sent: Tuesday, October 7, 2025 9:19 AM

To: DGlen Barrett

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

That is correct. Thank you for your response.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: DGlen Barrett **ATIA 20(1)**

Sent: Saturday, October 4, 2025 1:22 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Hello, Elias Biolley-Villalobos,

Thank you for your email. Just to be clear, in your email below you mentioned our conversation over the phone. We have never spoken over the phone. This email was our first piece of communication. I am responding to the letter I received in the mail titled “NOTICE TO ADJACENT PROPERTY OWNERS “.

Thank you,

D. Glen Barrett.

On Fri, Oct 3, 2025 at 5:02 PM Elias Biolley-Villalobos

<DerbeElias.BiolleyVillalobos@rmwb.ca> wrote:

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

confidential and legally privileged and is for the use of the intended recipient(s) only. If you are not an intended recipient, please: (1) notify me immediately by replying to this message; (2) do not use, disseminate, distribute or reproduce any part of the message or any attachment; and (3) destroy all copies of this message and any attachments. Thank you.

From: DGlen Barrett <[REDACTED]>
Sent: Friday, October 3, 2025 4:29 PM
To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Subject: [233 Bacon Place, Fort McMurray, AB](#)

I'm all for assisting our residents with quality help and living. I do have several questions about the subject property.

-Why inside a closed residential loop away from a bus route? This subject property is at a far point to access the transit or cut through for pedestrian traffic path to confederation drive.

-With maybe up to Seven adult males living in said property, that's a lot of daily foot traffic to access the transit/bus. Or are they coming with their own vehicles and if so where will they park? Not to mention if they have guests with vehicles also.

-This property is on the sidewalk side of Bacon Place where a lot of children play, ride their bikes and use sidewalk chalk to draw and play hopscotch.

-My Wife and I bought our forever home here on Bacon Place 26 years ago to raise our family away from the bus route and traffic and currently plan on retiring in our current address on Bacon Place with the expectation of grandchildren playing in front of our home the same as their parents.

D. Glen Barrett

[REDACTED] ATIA 20(1)
[REDACTED] ATIA 20(1)

From: [Elias Biolley-Villalobos](#)
To: ATIA 20(1)
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [image001.png](#)
[Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

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Thank you kindly.
Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos
Sent: Thursday, October 2, 2025 5:03 PM
To: ATIA 20(1)
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello,

The Wood Buffalo Wellness Society will be hosting an open house to address questions and concerns regarding their Group Homes.

You are invited to attend at the **Unifor Building, 10019 MacDonald Avenue, Fort McMurray (Downtown)** on either of the following dates:

- **October 6, 7:00 PM – 9:00 PM**
- **October 8, 12:00 PM – 2:00 PM**

This will be a valuable opportunity to share your concerns and have your questions answered in person.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Elias Biolley-Villalobos
Sent: Monday, September 29, 2025 2:45 PM
To: ATIA 20(1)
Subject: Notification – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Brenda Jones,

Following our telephone call, thank you for your feedback and for sharing your concerns.

I am the assigned planner currently reviewing the development permit application, which is being circulated among our internal and external partners.

Answers to your comments:

#1 – I will redirect you to the applicant, *Wood Buffalo Wellness Society*, who can provide details on their residents. Their contact information is the following:

- Telephone: (780) 713-9794
- Email: markamy@woodbuffalowellnesssociety.com
- Website: [Wood Buffalo Wellness Society | Home | Fort McMurray, Alberta, Canada](#)

#2 – The Group Home will not be supervised or have in-house staff.

#3 – All potential concerns regarding the proposed Group Home must focus exclusively on planning considerations, including land use, intensity, infrastructure, neighbourhood compatibility, and policy compliance.

For context, Group Homes are considered a discretionary use within the R1 Residential District.

Should the application be approved, you will be formally notified and provided a twenty-one (21) day appeal period. If you choose to appeal, you may be asked to appear before the Subdivision and Development Appeal Board (SDAB) to present your concerns regarding the proposed Group Home.

Thank you kindly.



Elias Biolley-Villalobos

Planner

Planning & Development Services

T: 780-793-1017 | rmwb.ca

Office: 9909 Franklin Avenue, Fort McMurray, AB,
T9K 2K4

Fort McMurray | ᓄᓐᑕᓕᓴᓐᓂᓐ | Nistawâyâw | Etídlj Kué
Alberta T9H 2K4

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From: Cisco Unity Connection Messaging System <unityconnection@rmwb.ca>

Sent: Monday, September 29, 2025 1:33 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Message from Unknown sender **ATIA 20(1)**

From: [Elias Biolley-Villalobos](#)
To: **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [image001.png](#)
[Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

I have attached the notification letter for your review. It confirms that the application has been approved, and the appeal period is twenty-one (21) days from Thursday, November 20, 2025, which coincides with online advertising. If you wish to submit an appeal, please follow the instructions provided in the attachment.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos
Sent: Wednesday, October 1, 2025 3:53 PM
To: jason walsh
Cc: Jolene Wilson
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Jason Walsh,

Your comments have been received.

Thank you kindly.



Elias Biolley-Villalobos
Planner
Planning & Development Services
T: 780-793-1017 | rmwb.ca
Office: 9909 Franklin Avenue, Fort McMurray, AB,
T9K 2K4
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Alberta T9H 2K4

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From: jason walsh <**ATIA 20(1)**>
Sent: Wednesday, October 1, 2025 3:38 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Cc: Jolene Wilson <markamy@woodbuffalowellnesssociety.com>

Subject: Group Home 233 Bacon Place

Jason Walsh

ATIA 20(1)

Oct 1, 2025

I am writing as the direct neighbour at ATIA 20(1), regarding the development application submitted by Wood Buffalo Wellness Society for the future operation of a permanent group home for 7 unsupervised residents. These people are already living there.

While I understand the importance of community services. I have serious concerns with this proposal based on the property's current and past use as the " Ross Residence " a home for recovering alcoholics, drug addicts and some who have criminal records and shared that information with me. This facility has been operating for approximately eight (8) years without any notice, consultation, or transparency provided to residents of the Timberlea area when it first began operations.

During this time, I have personally experienced several negative impacts as a direct neighbour,

- In the last week with the new group I politely asked one of the new guys to turn down the music, he replied that it's not his problem and I would have to directly talk to the person who was playing the music in the garage. This man would not relay the message. I called the RCMP twice. I called on Sept 28,2025 and Sept 29,2025.
- I had a man come to my door one time and threatened me and my roommate. I had to escalate that incident to Brian Ross who said that the man had severe mental issues and the man was leaving the house soon. That man was in that house for 3-4 years. I had to lock my doors after that in fear of what could possibly happen.
- Just a few weeks ago I also noticed empty flasks of alcohol in a green open garbage can on the corner of the garage as I was doing lawn maintenance. I also in the past found empty alcohol bottles in my back yard that were thrown over the fence.
- I had to contact Brian Ross multiple times about garbage, welders, scrap metal in the front and side of the house.
- I also recorded a very loud disturbance in the driveway of 233 Bacon place one evening.
- In the past at times traffic coming and going to the house was a lot. Myself and neighbours were concerned. 7 residents means many vehicles and many friends.
- I have noticed also that some of the residents were frequently going back and forth to a

house on Bacon place that was also known as a problem house. Police were seen at the other house a few times.

- Another concern is the house is not being maintained. The fence is falling apart.
- There is no bus route on Bacon Place which means a lot of foot traffic and this concerns families who have small children that frequently use the sidewalks.
- I paid \$745,000 for my house in 2014. I purchased my house believing that I would be surrounded by family homes not a group home. I have dealt with a lot of stress over the years. My realtor told me this group home will diminish my property value.

The notice letter itself is vague and does not provide sufficient context about who will be staying at the home. There is no information regarding criminal history or background of the residents, which leaves the surrounding community in the dark about potential risks to safety. Without transparency, residents cannot make informed decisions or properly voice their concerns.

The current lack of accountability and proactive management of this facility has already created significant disruption to the safety, cleanliness, and peace of the neighbourhood. Allowing a larger formally recognized group home at the location especially one that could potentially house individuals with a history of addiction, repeat offences, or even more serious concerns such as sexual offenses will only intensify these risks.

Additionally, I am deeply worried about the impact on property values. A group home of this nature, given its history and the challenges it has already created for surrounding residents, will likely decrease the desirability and market value of my home and others in the immediate vicinity.

Thank you for your time and consideration of this matter. I request that my concerns be formally recorded as part of the review process.

Sincerely,

Jason Walsh

ATIA 20(1)
[Redacted]
[Redacted]

From: [Elias Biolley-Villalobos](#)
To: **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:23:00 PM
Attachments: [Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8
Legal Address: Lot: 24, Block: 10, Plan: 852 1147
Land District: R1 – Single Detached Residential District
Discretionary Uses–Planning Commission: Group Home

Hello,

I have attached the notification letter for your review. It confirms that the application has been approved, and the appeal period is twenty-one (21) days from Thursday, November 20, 2025, which coincides with online advertising. If you wish to submit an appeal, please follow the instructions provided in the attachment.

Thank you kindly.
Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos
Sent: Friday, November 14, 2025 11:34 AM
To: 'Rene lapierre'
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Received,

Thank you kindly.
Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Rene lapierre <**ATIA 20(1)**>
Sent: Friday, November 14, 2025 11:31 AM
To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Subject: Re: Notification – 2025-DP-00319 – Sober Living House

My address is **ATIA 20(1)**. The feedback I have over it is that stuff went missing out of my vehicle for the first time since I lived at my adress. My radar detector and some money is missing. There are also people always coming and going out of the address and they look sketchy all the time.

Thank you

René Lapierre

ATIA 20(1)

From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>
Sent: Friday, November 14, 2025 11:02:11 AM
To: Rene lapierre **ATIA 20(1)** >
Subject: Notification – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, René Lapierre,

Would you like to provide feedback and comments about the proposed Group Home at the subject property? Additionally, would you like to share your property address to add it to the list of respondents?

Applicant Contact Information

For questions or information directly related to the applicant, please get in touch with the *Wood Buffalo Wellness Society*:

- **Telephone:** (780) 713-9794
- **Email:** markamy@woodbuffalowellnesssociety.com
- **Website:** [Wood Buffalo Wellness Society](#)

Thank you kindly.

Elias Biolley-Villalobos, BURPI

Planner | Development Permitting

Planning and Development Services

T: 780-793-1071

From: Rene lapierre <**ATIA 20(1)**>

Sent: Friday, November 14, 2025 10:18 AM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Half way house

I received a letter from you about a half way house coming to **233 bacon place**. I was wondering if you have a phone number to the people in charge of that? Because all of a sudden after 8 years of living in quiet peace at my residence, I'm having things go missing.

Thank you

René Lapierre

ATIA 20(1)

From: [Elias Biolley-Villalobos](#)
To:  ATIA 20(1)
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [image001.png](#)
[Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

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Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos

Sent: Thursday, October 2, 2025 5:03 PM

To: Marlene

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello,

The Wood Buffalo Wellness Society will be hosting an open house to address questions and concerns regarding their Group Homes.

You are invited to attend at the **Unifor Building, 10019 MacDonald Avenue, Fort McMurray (Downtown)** on either of the following dates:

- **October 6, 7:00 PM – 9:00 PM**
- **October 8, 12:00 PM – 2:00 PM**

This will be a valuable opportunity to share your concerns and have your questions answered in person.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Elias Biolley-Villalobos

Sent: Thursday, September 25, 2025 8:38 PM

To: 'Marlene'  ATIA 20(1)

Subject: Notification – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Marlene Garand,

Thank you for your feedback and for sharing your concerns.

I am the assigned planner currently reviewing the development permit application, which is being circulated among our internal and external partners.

Answers to your comments:

#1 – I will redirect you to the applicant, *Wood Buffalo Wellness Society*, who can provide details on their residents. Their contact information is the following:

- Telephone: (780) 713-9794
- Email: markamy@woodbuffalowellnesssociety.com
- Website: [Wood Buffalo Wellness Society | Home | Fort McMurray, Alberta, Canada](#)

#2 – The Group Home will not be supervised or have in-house staff.

#3 – All potential concerns regarding the proposed Group Home must focus exclusively on planning considerations, including land use, intensity, infrastructure, neighbourhood compatibility, and policy compliance.

For context, Group Homes are considered a discretionary use within the R1 Residential District.

Should the application be approved, you will be formally notified and provided a twenty-one (21) day appeal period. If you choose to appeal, you may be asked to appear before the Subdivision and Development Appeal Board (SDAB) to present your concerns regarding the proposed Group Home.

Thank you kindly.



Elias Biolley-Villalobos

Planner

Planning & Development Services

T: 780-793-1017 | rmwb.ca

Office: 9909 Franklin Avenue, Fort McMurray, AB,
T9K 2K4

Fort McMurray | ᓄᓐᑕᓕᓴᓐᓴᓐ | Nistawâyâw | Etídlj Kué
Alberta T9H 2K4

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From: Marlene **ATIA 20(1)**

Sent: Thursday, September 25, 2025 5:14 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Concerns for Group Home

Dear Mr. Elias Biolley-Villalobos,

I'm writing in regard of the Development Permit Application 2025-DP-00319 for a group home at 233 Bacon Place, Fort McMurray.

I live at **ATIA 20(1)**, a few houses from where you're planning a group home.

Bacon Place is a quiet community street where lots of young kids ride their bikes in the street and on the sidewalks, and feel safe to go around the street where neighbours know each other's. Adding a group home of seven (7) adult male residents to 233 Bacon will add parking issues, add traffic, and make the kids and the entire neighborhood feel less safe.

As a resident-owner, as a neighbour, and as a grandmother of two young kids who spend lots of time at my house, I am opposed to this application. I do NOT approve of a group house on Bacon Place.

Thanks for listening to my concerns.

Marlene Garand

ATIA 20(1)

[REDACTED]
[REDACTED]

From: [Elias Biolley-Villalobos](#)
To: **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [image001.png](#)
[Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

I have attached the notification letter for your review. It confirms that the application has been approved, and the appeal period is twenty-one (21) days from Thursday, November 20, 2025, which coincides with online advertising. If you wish to submit an appeal, please follow the instructions provided in the attachment.

Thank you kindly.
Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos
Sent: Thursday, October 2, 2025 5:03 PM
To: Jessica Schneider
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello,

The Wood Buffalo Wellness Society will be hosting an open house to address questions and concerns regarding their Group Homes.

You are invited to attend at the **Unifor Building, 10019 MacDonald Avenue, Fort McMurray (Downtown)** on either of the following dates:

- **October 6, 7:00 PM – 9:00 PM**
- **October 8, 12:00 PM – 2:00 PM**

This will be a valuable opportunity to share your concerns and have your questions answered in person.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Elias Biolley-Villalobos
Sent: Wednesday, October 1, 2025 2:08 PM
To: 'Jessica Schneider' **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Your comments have been received.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Jessica Schneider **ATIA 20(1)** >

Sent: Wednesday, October 1, 2025 2:00 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Re: Notification – 2025-DP-00319 – Sober Living House

Jessica Schneider

ATIA 20(1)

October 1, 2025

To: Elias Biolley-Villalobos
Planner | Development Officer
Regional Municipality of Wood Buffalo
Planning & Development Services

Re: Development Permit Application 2025-DP-00319 (233 Bacon Place – Group Home)

Dear Mr. Biolley-Villalobos,

Thank you for your response to my earlier submission regarding the proposed group home at 233 Bacon Place. I appreciate your clarification that this property is zoned R1 – Single Detached Residential District and that a group home is considered a discretionary use.

I would like to formally record **my objection to this application** on the following planning grounds:

1. Notification radius

My residence is **ATIA 20(1)**. While your notice was issued only to properties within a 60-metre radius, the unique layout of Bacon Place as a cul-de-sac means that residents beyond 60 m are still directly impacted by traffic, safety, and neighbourhood character changes. **I request that the notification radius be reconsidered or clarified.**

2. Neighbourhood character and intensity of use

Bacon Place is a quiet, family-oriented cul-de-sac with many young children and access to a nearby park. The proposed occupancy of seven unrelated adults in a single dwelling is significantly higher intensity than typical single-detached homes, and therefore **inconsistent with the residential character of the R1 District.**

3. Infrastructure and accessibility

The **property is not on public transit, employment opportunities, or essential services such as groceries and healthcare.** The resulting dependence on visitors, taxis, or private vehicles raises legitimate concerns **about increased traffic and parking congestion on corner of the a cul-de-sac with limited capacity.**

4. Oversight and bylaw conformity

The Land Use Bylaw's definition of a group home contemplates "guidance and supervision" and allows for staff accommodation as an accessory use. If the proposed operation is largely unsupervised, I question whether it fully aligns with that definition. At a minimum, conditions should be imposed to ensure on-site or readily available staff oversight, visitor management, and clear complaint/response protocols.

Conclusion

As stated before my objection is not to the mission of the Wood Buffalo Wellness Society, but to the suitability of 233 Bacon Place for this discretionary use given the street's design, the lack of nearby services, and the absence of consistent supervision. I ask that the Commission carefully consider these issues and either refuse the application or apply strict conditions to safeguard neighbourhood compatibility.

Thank you for your consideration.

Sincerely,
Jessica Schneider

ATIA 20(1)

On Wed, Oct 1, 2025 at 1:34 PM Elias Biolley-Villalobos

<DerbeElias.BiolleyVillalobos@rmwb.ca> wrote:

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Jessica Schneider,

Thank you for your feedback and for sharing your concerns.

Would you be comfortable sharing your property address to add to the list of respondents?

I am the assigned planner currently reviewing the development permit application, which is being circulated among our internal and external partners.

Answers to your comments:

#1 – I will redirect you to the applicant, *Wood Buffalo Wellness Society*, who can provide details on their residents. Their contact information is the following:

- Telephone: (780) 713-9794
- Email: markamy@woodbuffalowellnesssociety.com
- Website: [Wood Buffalo Wellness Society | Home | Fort McMurray, Alberta, Canada](#)

#2 – All potential concerns regarding the proposed Group Home must focus exclusively on planning considerations, including land use, intensity, infrastructure, neighbourhood compatibility, and policy compliance.

For context, Group Homes are considered a discretionary use within the R1 Residential District.

Should the application be approved, you will be formally notified and provided a twenty-one (21)

day appeal period. If you choose to appeal, you may be asked to appear before the Subdivision and

primary supports will be located downtown. This raises concerns about consistent supervision. In a neighbourhood with many children, families are understandably worried about unsupervised situations, visitors to the residence, or potential disruptions that may go unmonitored due to the limited presence of program staff.

3. Community Safety and Infrastructure

Bacon Place is a cul-de-sac, closed road with limited traffic flow and not part of regular law enforcement patrols. Should any issues arise, response times may be slower than in more central locations. Families on the street rely on the quiet and safety of this environment, and the absence of regular oversight could compromise this.

4. Neighbourhood Character and Property Values

Residents have invested in this neighbourhood because of its family-oriented character, quiet streets, and nearby parks. Introducing a group home of this nature has the potential to significantly alter the character of the neighbourhood and may negatively impact property values. This is not a reflection on the individuals who would reside in the home, but rather a concern about the land-use decision in a location that does not align with the existing residential environment.

5. Alternative Placement

I strongly encourage the Municipality to consider alternative locations for this program

—ones that are closer to services, better served by public transit, and more easily monitored by program staff and law enforcement. This would both support the success of the program participants and reduce disruption to established family neighbourhoods.

In conclusion, my objection is not to the purpose or value of the program, but to the suitability of Bacon Place as a location for such a facility. I respectfully request that these concerns be carefully weighed in the decision-making process.

Thank you for your attention to this matter.

Sincerely,
Jessica Schneider

From: [Elias Biolley-Villalobos](#)
To: **ATIA 20(1)**
Subject: RE: Notification – 2025-DP-00319 – Sober Living House
Date: Tuesday, November 18, 2025 4:25:00 PM
Attachments: [image001.png](#)
[Notice to Neighbours - 2025-DP-00319.pdf](#)

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello,

I have attached the notification letter for your review. It confirms that the application has been approved, and the appeal period is twenty-one (21) days from Thursday, November 20, 2025, which coincides with online advertising. If you wish to submit an appeal, please follow the instructions provided in the attachment.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Development Permitting
Planning and Development Services
T: 780-793-1071

From: Elias Biolley-Villalobos

Sent: Thursday, October 2, 2025 5:03 PM

To: **ATIA 20(1)**

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Hello,

The Wood Buffalo Wellness Society will be hosting an open house to address questions and concerns regarding their Group Homes.

You are invited to attend at the **Unifor Building, 10019 MacDonald Avenue, Fort McMurray (Downtown)** on either of the following dates:

- **October 6, 7:00 PM – 9:00 PM**
- **October 8, 12:00 PM – 2:00 PM**

This will be a valuable opportunity to share your concerns and have your questions answered in person.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Elias Biolley-Villalobos

Sent: Monday, September 29, 2025 9:22 AM

To: **ATIA 20(1)**

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Thank you once again for your feedback and for sharing your concerns.

Thank you kindly.

Elias Biolley-Villalobos, BURPI
Planner | Planning and Development Services
T: 780-793-1017

From: Robert Pagacz <ATIA 20(1)>

Sent: Sunday, September 28, 2025 9:33 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>; ATIA 20(1)

Subject: RE: Notification – 2025-DP-00319 – Sober Living House

Thank you Elias for your timely response over the phone, it was very appreciated.

I think you know my feelings on this but as a current landlord of multiple properties, I will say again on how opposed I am to this. In practice I believe this will not work.

Group homes by nature add complexity to surrounding neighbors, along with an overwhelming anxiety. This is exacerbated with up to 7 adults that are not related under one roof. Bodes the question of how they will work together? Kitchen, bathroom, clean up duties....space just to name a few. Who is responsible for the up keep and maintenance of the home and yard? Yes they can be expanded but the friction and the use will not go away.

I walk on Bacon everyday as I am now retired, and I see the goings on there and wondered, now I have some of the answers as it was partially this way for some time. The kids playing will be at stress or they will spend more time indoors. This and other neighborhoods are not designed for a group home. People living in the group home need to be constantly supervised and monitored for success and/or failure, none of this is going to happen by admission. A roof is not what they need the most. Supervised help is, but this area is not the answer. A place designed for this, not just plopped and hope for the best!

And with over 40years in FTMM I am still giving back. Raised my 4 kids here and they went to school across the street from the proposed home. They were told to walk along the street as the bears might get them when it was not yet developed. Now as adults with little ones, can I say the same? I ask that you turn down this proposal!!

Robert Pagacz

ATIA 20(1)

From: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Sent: September 26, 2025 3:38 PM

To: ATIA 20(1)

Subject: Notification – 2025-DP-00319 – Sober Living House

Subject Property:

Civic Address: 233 Bacon Place, Fort McMurray, AB T9K 1Z8

Legal Address: Lot: 24, Block: 10, Plan: 852 1147

Land District: R1 – Single Detached Residential District

Discretionary Uses–Planning Commission: Group Home

Hello, Rob,

Following our telephone call, thank you for your feedback and for sharing your concerns.

I am the assigned planner currently reviewing the development permit application, which is being circulated among our internal and external partners.

Answers to your comments:

#1 – I will redirect you to the applicant, *Wood Buffalo Wellness Society*, who can provide details on their residents. Their contact information is the following:

- Telephone: (780) 713-9794
- Email: markamy@woodbuffalowellnesssociety.com
- Website: [Wood Buffalo Wellness Society | Home | Fort McMurray, Alberta, Canada](#)

#2 – The Group Home will not be supervised or have in-house staff.

#3 – All potential concerns regarding the proposed Group Home must focus exclusively on planning considerations, including land use, intensity, infrastructure, neighbourhood compatibility, and policy compliance.

For context, Group Homes are considered a discretionary use within the R1 Residential District. Should the application be approved, you will be formally notified and provided a twenty-one (21) day appeal period. If you choose to appeal, you may be asked to appear before the Subdivision and Development Appeal Board (SDAB) to present your concerns regarding the proposed Group Home. Thank you kindly.



Elias Biolley-Villalobos

Planner

Planning & Development Services

T: 780-793-1017 | rmwb.ca

Office: 9909 Franklin Avenue, Fort McMurray, AB,
T9K 2K4

Fort McMurray | ᓂᓕᓐᓂᓐᓂᓐ | Nistawâyâw | Etídlı Kué
Alberta T9H 2K4

STATEMENT OF CONFIDENTIALITY: The information contained in this email message and any attachments may be confidential and legally privileged and is for the use of the intended recipient(s) only. If you are not an intended recipient, please: (1) notify me immediately by replying to this message; (2) do not use, disseminate, distribute or reproduce any part of the message or any attachment; and (3) destroy all copies of this message and any attachments. Thank you.

From: Cisco Unity Connection Messaging System <unityconnection@rmwb.ca>

Sent: Friday, September 26, 2025 3:22 PM

To: Elias Biolley-Villalobos <DerbeElias.BiolleyVillalobos@rmwb.ca>

Subject: Message from Unknown sender **ATIA 20(1)**

December 23, 2025

PO BOX 5748
FORT MCMURRAY AB T9H4V9

RE: Existing Driveway - Graveled Portion - no new construction
233 BACON PLACE
Lot: 24 Block: 10 Plan: 8521147

Please be advised that your Boulevard Application No. 2025-BU-00026 has been reviewed by the Engineering Department and the status of your application is as follows:

Please read the comments below provided by the Engineering Department



APPROVED. Please note the conditions of approved below.

Conditions of Approval - See Attached.

Issued: December 23, 2025

Owner	Applicant	Contractor
CHANDRA L;FLETT		
ATIA 20(1)	ATIA 20(1)	ATIA 20(1)
	ATIA 20(1)	ATIA 20(1)
ATIA 20(1)	ATIA 20(1)	ATIA 20(1)

Boulevard Crossing Permit

Work has been authorized at the following location:
233 BACON PLACE

Lot	Block	Plan	Section	Township	Range
24	10	8521147	26	89	10

Description of Work

Existing Driveway - Graveled Portion - no new construction

Please read the comments below provided by the Engineering Department


<input type="checkbox"/> Asphalt	<input type="checkbox"/> Concrete	<input type="checkbox"/> Paving Stone	<input type="checkbox"/> Curb Return	Other: gravel
<input type="checkbox"/> Curb Cut	<input type="checkbox"/> Sidewalk	<input type="checkbox"/> Swale	<input type="checkbox"/> Para Ramps	

Total Crossings	Width of this Crossing (m)	Development Type	Development Category
1	6.7m	Residential	Existing Driveway
Road Closure Required?	Partial / Full	Road Closure Start Date	Road Closure End Date
No			
Construction Start Date		Construction End Date	
11/26/2025		11/26/2025	

Note: See attached Conditions of issuance. All conditions must be satisfied before final completion of this work will be approved by the Regional Municipality of Wood Buffalo.

I hereby agree that the work stipulated in this Permit shall be performed in accordance with the Regional Municipality of Wood Buffalo 's Engineering Standards, Driveway Policy, Traffic Control and Utility Installation Manual and approved project drawings and specifications. In case of default, I acknowledge and confirm that the Regional Municipality of Wood Buffalo has the right to complete the work shown in this permit and change me the costs of the same. I shall indemnify and save harmless the Regional Municipality of Wood Buffalo from any and all losses , costs, damages, actions, causes of action, suits, claims & demands results from anything done or omitted to be done by the development owner in pursuance of purported pursuance of this boulevard crossing.

I certify that the boulevard crossing will be installed a minimum of 1.5 meters from any pole, hydrant, utility transformer or pedestal, etc. I agree to pay all costs for relocating any of these facilities within 1.5 meters of the constructed Boulevard Crossing.



Nasir Qureshi, Senior Manager
Development Engineering
Regional Municipality of Wood Buffalo
Nasir.Qureshi@rmwb.ca

December 23, 2025

Date

December 23, 2025

PO BOX 5748
FORT MCMURRAY AB T9H4V9

RE: Existing Driveway - Graveled Portion - no new construction
233 BACON PLACE
Lot: 24 Block: 10 Plan: 8521147

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Issued: December 23, 2025

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CHANDRA L;FLETT		
ATIA 20(1)	ATIA 20(1)	ATIA 20(1)
		ATIA 20(1)
ATIA 20(1)	ATIA 20(1)	ATIA 20(1)

Boulevard Crossing Permit

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233 BACON PLACE

Lot	Block	Plan	Section	Township	Range
24	10	8521147	26	89	10

Description of Work

Existing Driveway - Graveled Portion - no new construction

Please read the comments below provided by the Engineering Department


<input type="checkbox"/> Asphalt	<input type="checkbox"/> Concrete	<input type="checkbox"/> Paving Stone	<input type="checkbox"/> Curb Return	Other: gravel
<input type="checkbox"/> Curb Cut	<input type="checkbox"/> Sidewalk	<input type="checkbox"/> Swale	<input type="checkbox"/> Para Ramps	

Total Crossings	Width of this Crossing (m)	Development Type	Development Category
1	6.7m	Residential	Existing Driveway
Road Closure Required?	Partial / Full	Road Closure Start Date	Road Closure End Date
No			
Construction Start Date		Construction End Date	
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December 23, 2025

Date

Nasir Qureshi, Senior Manager
Development Engineering
Regional Municipality of Wood Buffalo
Nasir.Qureshi@rmwb.ca